

City of Syracuse Zoning Administration

Application for SPECIAL PERMIT Review by the Planning Commission

City Hall Commons * Room 101 * 201 E. Washington Street * Syracuse, NY 13202-1426 * 315-448-8640

For Office Use: Filing Date: Case Number: Zoning District:
 NEW SPECIAL PERMIT MODIFICATION OF EXISTING SPECIAL PERMIT

LIST ALL ADDRESSES INVOLVED IN YOUR PROJECT:

TAX MAP SECTION, BLOCK, and LOT information from Assessment Department (call 448-8280)

Section:	<input type="text" value="104"/>	Block:	<input type="text" value="10"/>	Lot:	<input type="text" value="1"/>
Section:	<input type="text"/>	Block:	<input type="text"/>	Lot:	<input type="text"/>
Section:	<input type="text"/>	Block:	<input type="text"/>	Lot:	<input type="text"/>

This APPLICATION is for a:

- Restaurant (this also includes uses such as Bars, Taverns, Coffee Shops, Night Clubs)
- Gasoline Service Station
- Car Wash Facility
- Care Home
- Parking Lot or Parking Garage
- Transitional Parking Area
- Offices of Religious and Educational Institutions
- Bed and Breakfast
- Other Special Permit Uses (describe)

PLEASE DESCRIBE ALL ASPECTS OF YOUR PROJECT IN DETAIL:

PROPERTY OWNER INFORMATION:

Name(s):

Mailing Address:

Zip: Daytime phone: Home phone:

E-mail:

APPLICANT INFORMATION:

(Copy of contract to purchase must be included with application)

Contract Purchaser(s) Tenant Co-Applicant Other (please state):

Name(s):

Mailing Address:

Zip: Home phone: Day Phone:

E-mail:

REPRESENTATIVE INFORMATION:

(Only if involved in this application)

Attorney Architect Contractor Other

Name(s):

Mailing Address:

Zip: Telephone: E-mail:

DESCRIPTION OF OPERATION:

Days of week open:

Hours of operation:

Maximum number of employees on premises at one time:

Number of off-street parking available (site plan required to indicate location):

Other uses currently on the property: FIRST FLOOR:

SECOND FLOOR: OTHER FLOORS:

Indicate types and uses of other structures on the property if any (i.e. garage, storage building, etc.):

See attached photos for existing signage.

SIGNAGE INFORMATION: See site plan for proposed signage.

Size and location of all **existing AND proposed** signage (use additional sheet if necessary)

A sign plan is required, see attachment (Wall, Ground, Projecting, Window)

Size	<input type="text"/>	Location	<input type="text"/>	Type	<input type="text"/>
Size	<input type="text"/>	Location	<input type="text"/>	Type	<input type="text"/>
Size	<input type="text"/>	Location	<input type="text"/>	Type	<input type="text"/>

SPECIAL PERMIT FUNCTIONS: (Check all that apply)

- Dining room Bar Service Drive-thru
- Entertainment Stage DJ Booth
- Light Duty auto repair Heavy Duty auto repair
- Car Wash Facility New Auto Sales Used Auto Sales

Has owner obtained or applied for a Certificate of Use: Yes No

DECLARATION:

I understand that false statements made herein are punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application will be considered null and void.

CURRENT PROPERTY OWNER SIGNATURE

As listed on the City of Syracuse Tax Assessment Roll. If not listed as the owner on the current rolls, please include a proof of ownership, for example, a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. Architects, engineers, contractors, tenants, etc. cannot sign on behalf of the property owner. If property owner is a Corporation or an Organization, then the person signing must provide verification they are a member of such, and can sign on the owners' behalf.

Michael E Guern 6/28/18
CURRENT PROPERTY OWNER SIGNATURE DATE

Michael E Guern - Authorized Representative

Please legibly PRINT SIGNATURE NAME and TITLE

***Please note that if referrals are necessary for this application, additional copies of all required materials will be requested.**

FOR STAFF USE ONLY

REFERRAL NEEDED

- ONONDAGA COUNTY PLANNING BOARD
- SYRACUSE LANDMARK PRESERVATION BOARD (This project is located within _____ Historic District; is listed individually in the National Register of Historic Places; is Eligible for inclusion in the National Register of Historic Places; or is architecturally significant).
- OTHER CITY/COUNTY/STATE AGENCY OR DEPARTMENT(S) _____

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PLANS REVIEW FORM

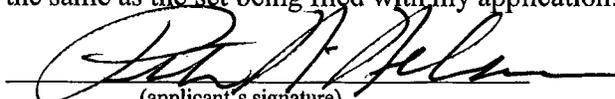
This form is to be signed by the person who reviews the submitted plans at the Division of Code Enforcement, 201 E. Washington Street. Room 101. This signed form must accompany any applications for variances, special permits, site plan reviews, or other similar zoning reviews that are to be filed by the applicant with the Syracuse Zoning Office, City Hall Commons, Room 211, 201 East Washington Street., Syracuse, NY 13202.

We, the Division of Code Enforcement, have received two sets of plans from Nelson Associates AE on 07/03/2018 :
(applicant) (date)

one set which we have reviewed, and one set for transmittal to the Fire Prevention Bureau for its review.


(Division of Code Enforcement-Signature)

I, the applicant, certify that the plans submitted to the Division of Code Enforcement are the same as the set being filed with my application.


(applicant's signature)

APPLICANT PLEASE NOTE: Approval of your application by the Board of Zoning Appeals, the City Planning Commission, or the Common Council does not relieve you or your agents from compliance with any other regulatory or licensing provisions applicable thereto by the properly constituted federal, state, county, or city authorities, including the issuance of permits by the Division of Code Enforcement.

5/2013

Justification of Waiver

Niagara Mohawk Power Corporation dba National Grid is requesting a partial waiver from the landscape requirements defined in C-15 of the Zoning Rules and Regulations for the City of Syracuse. The City of Syracuse is referencing a 1972 resolution that allowed the parking on the Lot #2 site to be maximized temporarily and eventually be brought into conformance with the City's 1972 landscape requirements. National Grid is making a good faith effort by eliminating 12 much needed parking spaces to provide significant enhancement to the current street scape. National Grid's goal is to follow current landscape requirements to an extent that is practical and at the same time keep the loss of much needed parking to a minimum.

The existing parking Lot #2, bounded by Willow Street to the south and Franklin Street to the east, provides much needed parking for both National Grid employees and other groups such as the Downtown Committee of Syracuse. National Grid is proposing to provide fully compliant landscaping along Willow Street and partially compliant landscaping along Franklin. In line with National Grid's initiative to reduce the carbon footprint, electrical vehicle charging stations are being provided in several parking spaces along the Franklin Street side of the lot. Granting a waiver will maximize off-street parking and commerce in Syracuse and provide a safe parking area for National Grid employees and City visitors.

Existing Lot 2 Signage

National Grid Private Property signs (6) 24"x24"

3 on W. Willow St.
2 on N. Franklin St.
1 on Herald Place.

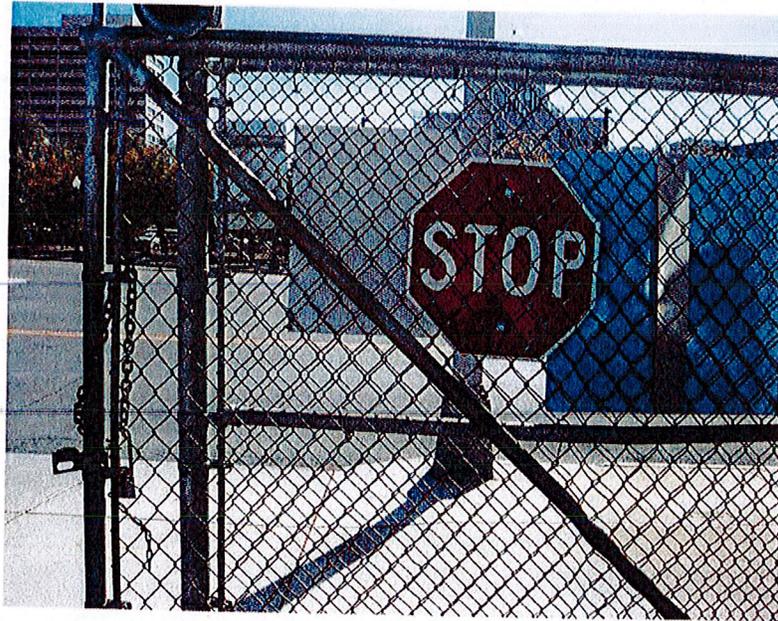


Parking Lot Monitored sign (1) 16"x20"

1 on W. Willow St.

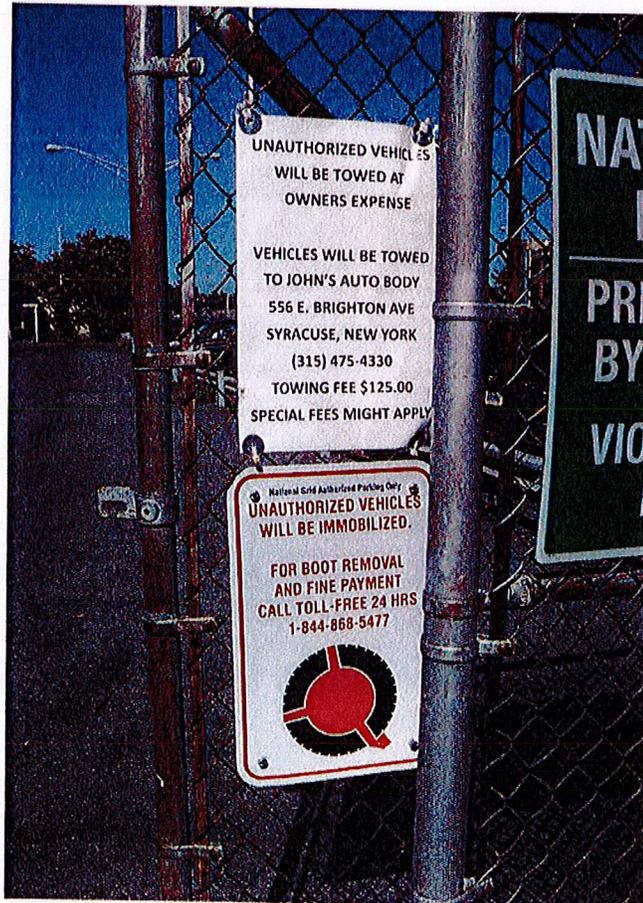


Stop sign as you exit onto W. Willow St. (1) 24"



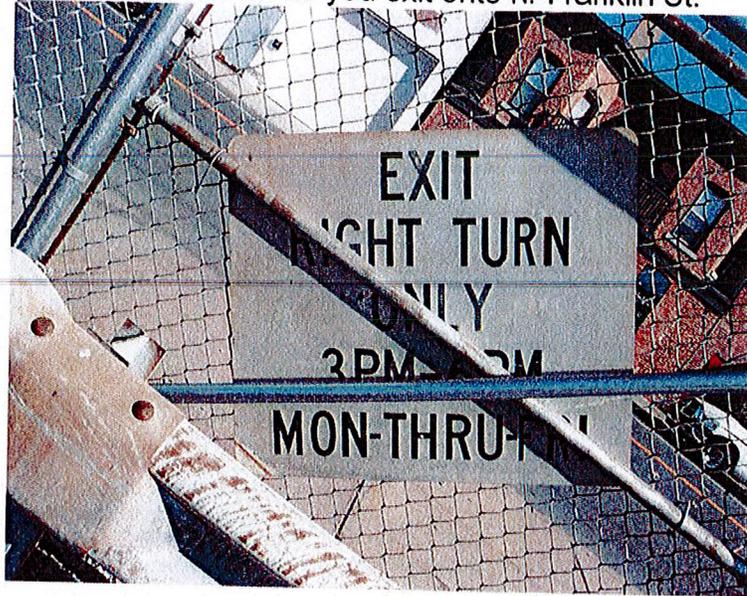
No Unauthorized Parking sign 24"x24"

(1) On W. Willow St.



Right Turn Only Sign 24"x30"

On N. Franklin as you exit onto N. Franklin St.

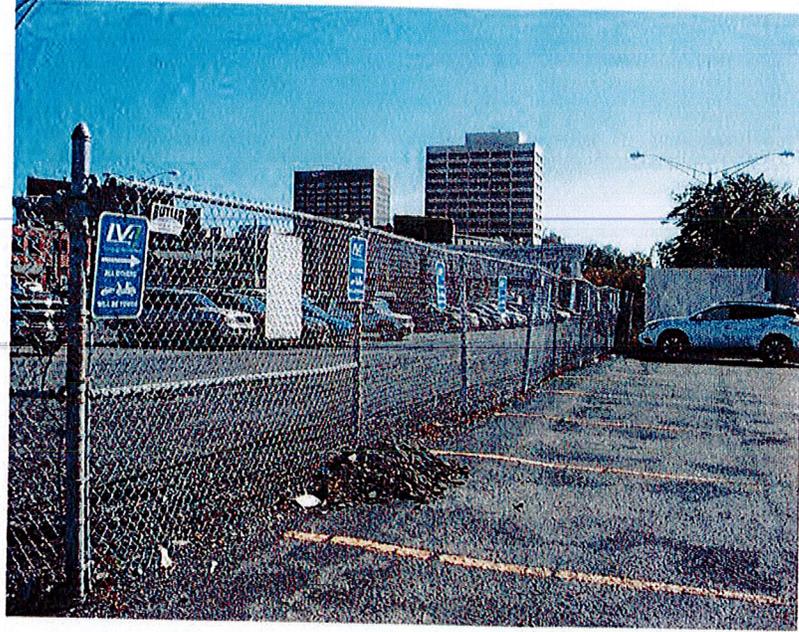


Snow Parking signs (2) 16"x24"

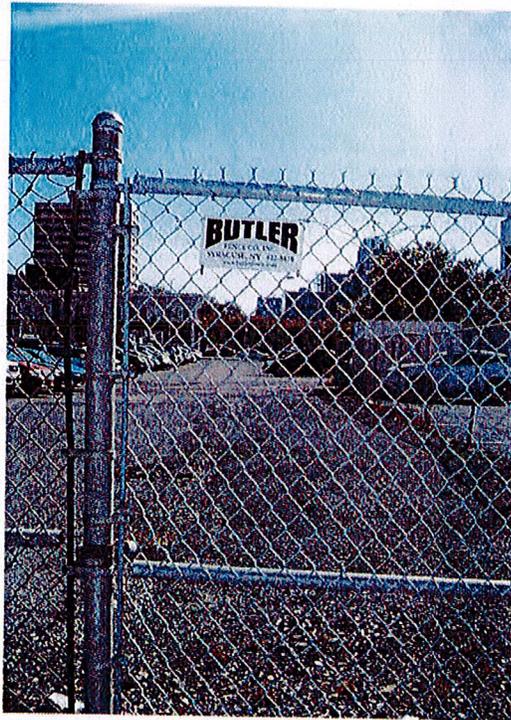
On fence facing adjacent Red Cross Bldg.



IV4 Parking Only signs (10) 12"x18"
On fence facing into National Grid parking lot



Butler Fence Company sign 5"x10"
(2) On Herald Place, (1) on Red Cross side



The entire fence around the property is 6' wire mesh.



DATUM

HORIZONTAL AND VERTICAL DATUMS BASED ON GPS OBSERVATION
 HORIZONTAL: NAD83 (GEOID 12A) U.S. SURVEY FEET, CENTRAL Z
 VERTICAL: NAVD 88 (GEOID 12A) U.S. SURVEY FEET

DEED REFERENCES

- 1) DEED FROM W. J. COMPANY TO NIAGARA MOHAWK POWER CORP. DATED FEBRUARY 2, 1972 AND FILED IN THE ONTARIO COUNTY CLERK'S OFFICE IN LIBER 2489 OF DEEDS AT PAGE 554. LAT NO. 167897.
- 2) DEED FROM BRESSEE CHEVROLET CO., INC. TO NIAGARA MOHAWK POWER CORP. DATED FEBRUARY 2, 1972 AND FILED IN THE ONTARIO COUNTY CLERK'S OFFICE IN LIBER 2489 OF DEEDS AT PAGE 545. LAT NO. 167898.
- 3) DEED FROM WILLIAM B. DUNN AND JANE D. HARRIS TO NIAGARA MOHAWK POWER CORP. DATED JANUARY 14, 1972 AND FILED IN THE ONTARIO COUNTY CLERK'S OFFICE IN LIBER 2489 OF DEEDS AT PAGE 547. LAT NO. 167899.
- 4) DEED FROM EDITH J. HARRIS TO NIAGARA MOHAWK POWER CORP. DATED FEBRUARY 2, 1972 AND FILED IN THE ONTARIO COUNTY CLERK'S OFFICE IN LIBER 2487 OF DEEDS AT PAGE 585. LAT NO. 168071.
- 5) DEED FROM ELLEN JANE DAMIANO TO NIAGARA MOHAWK POWER CORP. DATED OCTOBER 17, 1972 AND FILED IN THE ONTARIO COUNTY CLERK'S OFFICE IN LIBER 2487 OF DEEDS AT PAGE 601. LAT NO. 168071.

NOTES

- 1) THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.
- 2) NO UNDERGROUND UTILITY MARKOUT WAS PERFORMED FOR THIS SURVEY.

PREPARED BY
 NIAGARA MOHAWK POWER CORPORATION
 D.B.A. nationalgrid
 BOUNDARY SURVEY

LANDS OF

NIAGARA MOHAWK POWER CORPORATION
 PARKING LOT #2 / 300-324 WEST WILLOW STREET
 PART OF LOT #76, CITY OF SYRACUSE - ONTARIO COUNTY

NO.	DATE	BY	ADDED	DESCRIPTION OF REVISION	DATE	BY
1	02/27/17	DWH	ADDED	ADDED DIMENSIONS TO FENCE AND PAVEMENT		

HERALD PLACE (FORMERLY NOXON STREET)

FRANKLIN STREET

WEST WILLOW STREET

WEST GENESSEE STREET

WALLACE STREET



TAX MAP ID: 10.00.10.2
 INSD FOR FORMERLY, LLC
 LIBER 5412 PAGE 484

TAX MAP ID: 10.00.10.4
 NIAGARA MOHAWK POWER CORPORATION
 (SEE DEED REFERENCES)

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 2009 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
 THIS INSTRUMENTED ACTUAL SURVEY AND THIS MAP WAS PREPARED BY A LICENSED SURVEYOR AND FIELD SURVEY COMPANY REGISTERED WITH THE STATE OF NEW YORK UNDER LICENSE NO. 08710017.
 MICHAEL A. CONIGLIANI & ASSOCIATES
 DATE: 10/5/17



CONTRADICTION STATEMENT
 This document contains confidential and proprietary information of Niagara Mohawk Power Corporation, d/b/a National Grid ("National Grid"). It is to be used by authorized contractors for National Grid solely in connection with the specific project for which it has been transmitted. Any other use, transmission to third parties, or the reproduction without prior express written authorization of National Grid is strictly prohibited.

PROJECT SPECIFICATION FAM PROJECT #2014-005

002000 - INSTRUCTIONS FOR PROCUREMENT

007000 - CONDITIONS OF CONTRACT

1. REFER TO THE FOLLOWING DOCUMENT, RELATED EXHIBITS AND ATTACHMENTS ISSUED SEPARATELY WITH THE RFQ.
- A. DOCUMENT 007000: NATIONAL GRID USA COMPANIES, TERMS AND CONDITIONS FOR CONSTRUCTION PURCHASE ORDERS ISSUED WITH THE RFQ AS AN EXHIBIT TO THE CONTRACT DOCUMENTS.

001100 - SUMMARY OF THE WORK

1. PROJECT LOCATIONS: LOT #2 ON N. FRANKLIN AND W. WILLOW ST. SYRACUSE NY 13202
2. OWNER: NIAGARA MOHAWK POWER CORPORATION, DOING BUSINESS AS NATIONAL GRID.
3. THE WORK CONSISTS OF, BUT NOT NECESSARILY LIMITED TO THE FOLLOWING.
- A. SITE VISITATION AND SUBSEQUENT FIELD VERIFICATION OF EXISTING CONDITIONS, DIMENSIONS, SITE ACCESS, ECT. PROVIDE ACKNOWLEDGEMENT OF SAME WHERE INDICATED ON THE RFQ.
- B. MILL 5" OFF EXISTING ASPHALT WHERE INDICATED ON THE DRAWING. APPLICATION OF 3" OF TYPE 3 BINDER, AND 2" OF TYPE 7F TOP.
- C. ALL HOLES SHALL BE ADDRESSED WITH APPROPRIATE SHIM MATERIAL OR SUB-BASE BEFORE ASPHALT TOP LAYERS ARE APPLIED.
- D. COORDINATION BETWEEN THE CONTRACTOR AND BUILDING SUPERINTENDENT WILL BE NECESSARY TO AVOID TRAFFIC PROBLEMS. WEEKEND HOURS WILL BE ACCEPTED.
- E. REMOVE AND DISPOSE OF METAL GUARD SHED.
- F. APPLICATION OF HIGH-VIZ ASPHALT PARKING SPACES AS SHOWN ON DRAWING

012600 - CONTRACT MODIFICATIONS PROCEDURE

1. REFER TO THE FOLLOWING DOCUMENT AND RELATED EXHIBITS AND ATTACHMENTS ISSUED SEPARATELY WITH THE RFQ.
- A. AUTHORIZATION FOR CONTRACT CHANGE (ACC FORM 723/03) THIS FORM SHALL BE USED PURSUANT TO THE TERMS OF AND CONDITIONS FOR CONSTRUCTION PURCHASE ORDERS. DOC. NO. 007000, ARTICLE 6.

015000 - TEMPORARY FACILITIES AND CONTROLS

1. TEMPORARY UTILITIES: EXISTING UTILITIES ON THE OWNERS PROPERTY MY BE USED AS THEY EXIST, WITHOUT CHARGE TO THE CONTRACTOR.
2. RESTORE TO ORIGINAL OR INTENDED CONDITION UPON CESSATION OF USE
3. CONSTRUCTION FACILITIES: PROVIDE AS REQUIRED TO FURTHER WORK TO THE CONTRACT.
4. DURING CONSTRUCTION ACTIVITY AT THE SITE, AT LEAST ONE PERSON ENGAGED IN THE ACTIVITY SHALL HAVE A CELL PHONE, AND THE NUMBER OF THE CELL PHONE BE FURNISHED TO THE OWNER.
5. TEMPORARY ACCESS AND PARKING AT THE SITE IS LIMITED, AND AS SUCH, ACCESS FOR CONTRACTOR PERSONNEL SHALL BE GRANTED AT THE SOLE DISCRETION OF THE OWNER.
6. SPACE WILL BE DESIGNATED AT THE SITE FOR USE AS A STAGING AREA FOR CONTRACTOR PERSONNEL DURING THE CONSTRUCTION PHASE. DO NOT ENCUMBER THE SITE BEYOND THE DESIGNATED AREA.
7. THE SITE MAY BE OCCUPIED AND IN USE FOR THE DURATION OF CONSTRUCTION. KEEP EXITS CLEAR AND TAKE STEPS AS REQUIRED TO MAINTAIN SUCH OCCUPANCY AND USE.
8. CONTRACTOR TO PROVIDE PORTABLE FACILITIES. LOCATION TO BE APPROVED BY NATIONAL GRID PERSONNEL.

024119 - SELECTIVE DEMOLITION

1. EXCEPT FOR ITEMS INDICATED AS SALVAGE OR OTHERWISE DESCRIBED VENDOR SHALL REMOVE AND DISPOSE OF EXISTING MATERIAL FROM THIS PROJECT IN IT ENTIRETY. REMOVALS BECOME THE CONTRACTORS PROPERTY AND SHALL BE REMOVED PROMPTLY FROM THE SITE.
2. ANY "NON-CONSTRUCTION SOIL" SHALL REMAIN ON SITE AND PLACED ON POLY. TESTING WILL BE DONE BY N. GRID. N. GRID WILL REMOVE IF CONTAMINATED.
3. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
4. DO NOT BURN DEMOLISHED MATERIALS.
5. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY, COMPLY WITH ALL THE REQUIREMENTS OF NATIONAL GRID USA ENVIRONMENTAL PROCEDURES FOR CONTRACTED SERVICES, AND ALL NY D.E.C PROCEDURES AND LAWS. NATIONAL GRID DOCUMENTS ARE ISSUED WITH THE RFQ AS AN EXHIBIT TO THE CONTRACT DOCUMENTS.

6. VENDOR SHALL PATCH TO MATCH ANY CONSTRUCTION DISTURBED AS A RESULT OF REMOVAL WORK.
7. VENDOR MUST TAKE ALL PRECAUTIONS TO AVOID DISTURBING EXISTING UNDERGROUND UTILITIES, AND MUST CONTACT "DIG-SAFE" UFPO PRIOR TO DIGGING BELOW THE ASPHALT.

EXECUTION:

INSTALLATION

1. GENERAL

- A. PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NYSDOT STANDARD SPEC., LATEST EDITION, AS AMENDED AND SHALL APPLY TO ALL PAVING WORK.
- B. ALL PAVING SHALL BE PERFORMED BY QUALIFIED PAVING CONTRACTOR OR SUBCONTRACTOR ACCEPTABLE TO THE OWNER.
- C. ALL MANHOLE FRAMES AND COVERS, VALVE BOXES, CATCH BASIN FRAMES AND GRATES, CURB BOXES, ECT WEATHER EXISTING OR NEW, SHALL BE RAISED OR LOWERED TO BE 1/2" BELOW THE NEW PAVEMENT GRADE. NO SUCH COVERS OR BOXES SHALL BE COVERED WITH PAVING MATERIAL.
- D. STRIPING SHALL BE STANDARD WIDTH HIGH VIS. YELLOW, 9'X18'. HANDICAPP SYMBOLS SHALL BE PLACED ON THE PAVING AND ON SIGNS ABOVE SURFACE IN FRONT OF PARKING SPACE.
- E. THE CONTRACTOR SHALL SCHEDULE HIS PAVING OPERATIONS SUCH THAT ALL PAVING NECESSARY TO MAINTAIN TRAFFIC PATTERNS BE LIMITED IN TIME FRAME. THE COST OF SCHEDULING WORK TO ELIMINATE TRAFFIC DISRUPTIONS SHALL BE REFLECTED IN THE BASE BID PRICE.
- F. IF CONTRACTOR FAILS TO COMPLETE THE PROJECT DUE TO WEATHER AND SEASONAL LIMITATIONS, TEMPORARY MATERIALS AND WORK TO BRING THE WORK AREA UP TO A POINT OF DRIVEABILITY UNTIL THE PROJECT CAN BE COMPLETED. ASSOCIATED COST TO BE AT THE CONTRACTORS EXPENSE.

2. EXISTING PAVEMENT REMOVAL

- A. PAVEMENT CUTTINGS FOR SUBSEQUENT EXCAVATIONS MAY BE MADE BY ANY MEANS, EXCEPT THAT PAVEMENT MUST BE SCORED OR CUT SO THAT PAVEMENT TO REMAIN IS LEFT UNDISTURBED.

3. SURFACE TOLERANCE

- A. THERE SHALL BE NO DEPRESSIONS WHICH SHALL RETAIN STANDING WATER. ALL SUCH DEPRESSIONS SHALL BE SATISFACTORILY CORRECTED OR THE PAVEMENT RELAID, AT NO ADDITIONAL COST TO THE OWNER.

SECTION 02511 HOT MIX ASPHALT PAVING

PART 1 - GENERAL

1.1 SUMMARY

- A. THIS SECTION INCLUDES PROVISIONS FOR HOT-MIXED ASPHALT CONCRETE PAVING OVER PREPARED SUBBASE.

1.2 REFERENCES

- A. "STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, OFFICE OF ENGINEERING."
- B. "STANDARD SPECIFICATIONS FOR HIGHWAY MATERIALS AND METHODS OF SAMPLING AND TESTING, AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO)."
- C. "AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)."

1.3 SUBMITTALS

- A. MATERIAL CERTIFICATES SIGNED BY MATERIAL PRODUCER AND CONTRACTOR, CERTIFYING THAT EACH MATERIAL ITEM COMPLIES WITH OR EXCEEDS SPECIFIED REQUIREMENTS.
- B. FIELD TEST REPORTS: SUBMIT RESULTS OF FIELD TESTING DIRECTLY TO THE ENGINEER.

1.4 SITE CONDITIONS

- A. WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50°F (10°C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35°F (1°C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS AN EXCESS OF MOISTURE.
- B. CONSTRUCT HOT-MIXED ASPHALT CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40°F (4°C) AND WHEN BASE IS DRY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30°F (MINUS 1°C) AND RISING.
- C. GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS.

1.5 SEQUENCING AND SCHEDULING

- A. COORDINATE THE PLACEMENT OF ASPHALT CONCRETE PAVEMENT WITH THE COMPLETION OF UNDERGROUND WORK BY OTHER TRADES.

1.6 MATERIALS (not all listed are part of project)

- A. GENERAL: ASPHALT CONCRETE AND ALL RELATED ITEMS SHALL MEET THE REQUIREMENTS OF NYSDOT, SECTION 400.
- B. TOP COURSE: TYPE 7F, NYSDOT TABLE 403-1.
- C. TACK COAT: EMULSIFIED ASPHALT, ASTM D977 NYSDOT 702-90.
- D. BINDER: TYPE 3, NYSDOT TABLE 403.1.
- E. SUB-BASE: CRUSHER-RUN, TYPE 2 NYSDOT 304.

PART 2 - EXECUTION

2.1 SURFACE PREPARATION

- A. GENERAL: REMOVE LOOSE MATERIAL FROM COMPACTED SUBBASE SURFACE IMMEDIATELY BEFORE COMMENCING PAVING OPERATIONS.
- B. SAWCUT EDGES OF EXISTING PAVEMENT TO ACHIEVE STRAIGHT LINE TRANSITIONS BETWEEN OLD AND NEW PAVEMENT. MAKE A SECOND SAWCUT THROUGH THE TOP COURSE OF EXISTING PAVEMENT, 18 INCHES FROM THE FIRST CUT TO PROVIDE A STAGGERED JOINT.
- C. TACK COAT: APPLY TO CONTACT SURFACES OF PREVIOUSLY CONSTRUCTED ASPHALT OR PORTLAND CEMENT CONCRETE AND SURFACES ABUTTING OR PROJECTING INTO ASPHALT CONCRETE PAVEMENT. DISTRIBUTE AT RATE OF 0.05 TO 0.07 GALLONS PER SQUARE YARD OF SURFACE.
- D. ALLOW TO DRY UNTIL AT PROPER CONDITION TO RECEIVE PAVING.
- E. EXERCISE CARE IN APPLYING BITUMINOUS MATERIALS TO AVOID SMearing OF ADJOINING SURFACES. REMOVE AND CLEAN DAMAGED SURFACES.
- F. DO NOT COMMENCE PAVEMENT REPLACEMENT OPERATIONS UNTIL ALL BURIED WORK BENEATH PAVEMENT REPAIR HAS BEEN COMPLETED TO THE SATISFACTION OF THE ENGINEER.

2.2 PLACING AND COMPACTING MIX

- A. GENERAL: PLACE AND COMPACT ASPHALT PAVEMENT COURSES IN ACCORDANCE WITH NYSDOT SECTION 403.1, UNLESS OTHERWISE SPECIFIED.
- B. PLACE INACCESSIBLE AND SMALL AREAS BY HAND, AND COMPACT WITH HOT HAND TAMPERS OR VIBRATING PLATE COMPACTORS.
- C. CHAMFER EDGES OF WALKS AT 45° ANGLE WHERE WALKS DO NOT ABUT CURB.
- D. JOINTS: MAKE JOINTS BETWEEN OLD AND NEW PAVEMENTS, OR BETWEEN SUCCESSIVE DAYS WORK, TO ENSURE CONTINUOUS BOND BETWEEN ADJOINING WORK. CONSTRUCT JOINTS TO HAVE SAME TEXTURE, DENSITY, AND SMOOTHNESS AS OTHER SECTIONS OF ASPHALT CONCRETE COURSE. CLEAN CONTACT SURFACES AND APPLY TACK COAT.
- E. PLACE TACK COAT BETWEEN SUCCESSIVE COURSES IF MORE THAN FORTY-EIGHT (48) HOURS HAVE ELAPSED AFTER PLACING THE PRECEDING COURSE. APPLY TACK COAT AT A RATE OF 0.03 TO 0.07 GALLONS PER SQUARE YARD OF SURFACE.
- F. COMPACTION: COMPACT ASPHALT PAVEMENT COURSES WITH A STATIC STEEL WHEEL ROLLER ONLY, UNLESS OTHERWISE APPROVED BY THE ENGINEER, BASED UPON WORK CONDITIONS.
- G. ADHERE TO NYSDOT COMPACTION REQUIREMENTS. THIS, HOWEVER, SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE A WELL DENSIFIED PAVEMENT. IT SHALL BE THE CONTRACTOR'S OBLIGATION TO RECOGNIZE DIFFICULTIES IN COMPACTING THE MIX, AND TO MAKE APPROPRIATE CORRECTIONS.
- H. ROLL AND COMPACT THE ASPHALT CONCRETE COURSE UNTIL THE FINISHED SURFACE IS FREE FROM DEPRESSIONS, WAVES OR OTHER DEFECTS THAT WOULD PREVENT PROPER DRAINAGE. THE FINISHED SURFACE SHALL BE UNIFORM IN TEXTURE AND APPEARANCE.
- I. PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED.
- J. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.

2.3 FIELD QUALITY CONTROL

- A. GENERAL: TESTING IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS WILL BE DONE BY GENERAL CONTRACTOR'S TESTING LABORATORY, AT OWNERS REQUEST. REPAIR OR REMOVE AND REPLACE UNACCEPTABLE PAVING AS DIRECTED BY ENGINEER AT THE CONTRACTOR'S EXPENSE. REMOVE HARDENED OR SET ASPHALT BY SAW CUTTING.

- B. THICKNESS: IN-PLACE COMPACTED THICKNESS TESTED IN ACCORDANCE WITH ASTM D 3549 WILL NOT BE ACCEPTABLE IF EXCEEDING FOLLOWING ALLOWABLE VARIATIONS:

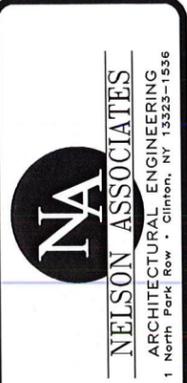
1. BASE COURSE: PLUS OR MINUS 1/2 INCH.
2. BINDER AND SURFACE COURSE: PLUS OR MINUS 1/4 INCH.
3. CUMULATIVE THICKNESS TOLERANCES: PLUS OR MINUS 1/4 INCH FOR NOMINAL CUMULATIVE THICKNESSES LESS THAN OR EQUAL TO 4 INCHES. PLUS OR MINUS 1/2 INCH FOR NOMINAL CUMULATIVE THICKNESSES GREATER THAN 4 INCHES.

- C. SURFACE SMOOTHNESS: TEST FINISHED SURFACE OF EACH ASPHALT CONCRETE COURSE FOR SMOOTHNESS, USING 10 FOOT STRAIGHTEDGE APPLIED PARALLEL WITH AND AT RIGHT ANGLES TO CENTERLINE OF PAVED AREA. SURFACES WILL NOT BE ACCEPTABLE IF EXCEEDING THE FOLLOWING TOLERANCES FOR SMOOTHNESS:

1. BASE AND BINDER COURSE SURFACES: 1/4 INCH.
2. WEARING COURSE SURFACE: 3/16 INCH.
3. CROWNED SURFACES: TEST WITH CROWNED TEMPLATE CENTERED AND AT RIGHT ANGLE TO CROWN. MAXIMUM ALLOWABLE VARIANCE FROM TEMPLATE IS 1/4 INCH.

- D. CHECK SURFACE AREAS AT INTERVALS AS DIRECTED BY ENGINEER.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, PROFESSIONAL LAND SURVEYOR, PROFESSIONAL GEODETIC SURVEYOR, PROFESSIONAL CIVIL ENGINEER, PROFESSIONAL ELECTRICAL ENGINEER, PROFESSIONAL MECHANICAL ENGINEER, PROFESSIONAL CHEMICAL ENGINEER, PROFESSIONAL ENVIRONMENTAL ENGINEER, PROFESSIONAL METALLURGICAL ENGINEER, PROFESSIONAL INDUSTRIAL ENGINEER, PROFESSIONAL AERONAUTICAL ENGINEER, PROFESSIONAL AGRICULTURAL ENGINEER, PROFESSIONAL MARINE ENGINEER, PROFESSIONAL MINING ENGINEER, PROFESSIONAL METEOROLOGICAL ENGINEER, PROFESSIONAL NUCLEAR ENGINEER, PROFESSIONAL SAFETY ENGINEER, PROFESSIONAL TRANSPORTATION ENGINEER, PROFESSIONAL AERONAUTICAL ENGINEER, PROFESSIONAL AGRICULTURAL ENGINEER, PROFESSIONAL MARINE ENGINEER, PROFESSIONAL MINING ENGINEER, PROFESSIONAL METEOROLOGICAL ENGINEER, PROFESSIONAL NUCLEAR ENGINEER, PROFESSIONAL SAFETY ENGINEER, PROFESSIONAL TRANSPORTATION ENGINEER, TO PREPARE, SEAL, SIGN, OR ISSUE ANY PROFESSIONAL ENGINEERING DRAWING, SPECIFICATION, REPORT, OR OTHER DOCUMENT WHICH IS REQUIRED BY LAW TO BE PREPARED, SEALED, SIGNED, OR ISSUED BY A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, PROFESSIONAL LAND SURVEYOR, PROFESSIONAL GEODETIC SURVEYOR, PROFESSIONAL CIVIL ENGINEER, PROFESSIONAL ELECTRICAL ENGINEER, PROFESSIONAL MECHANICAL ENGINEER, PROFESSIONAL CHEMICAL ENGINEER, PROFESSIONAL ENVIRONMENTAL ENGINEER, PROFESSIONAL METALLURGICAL ENGINEER, PROFESSIONAL INDUSTRIAL ENGINEER, PROFESSIONAL AERONAUTICAL ENGINEER, PROFESSIONAL AGRICULTURAL ENGINEER, PROFESSIONAL MARINE ENGINEER, PROFESSIONAL MINING ENGINEER, PROFESSIONAL METEOROLOGICAL ENGINEER, PROFESSIONAL NUCLEAR ENGINEER, PROFESSIONAL SAFETY ENGINEER, OR PROFESSIONAL TRANSPORTATION ENGINEER. VIOLATIONS ARE IN COMPLIANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2015 INTERNATIONAL FAMILY OF CODES AND STANDARDS, AND THE 2015 INTERNATIONAL ELECTRICAL CODE. © 2017



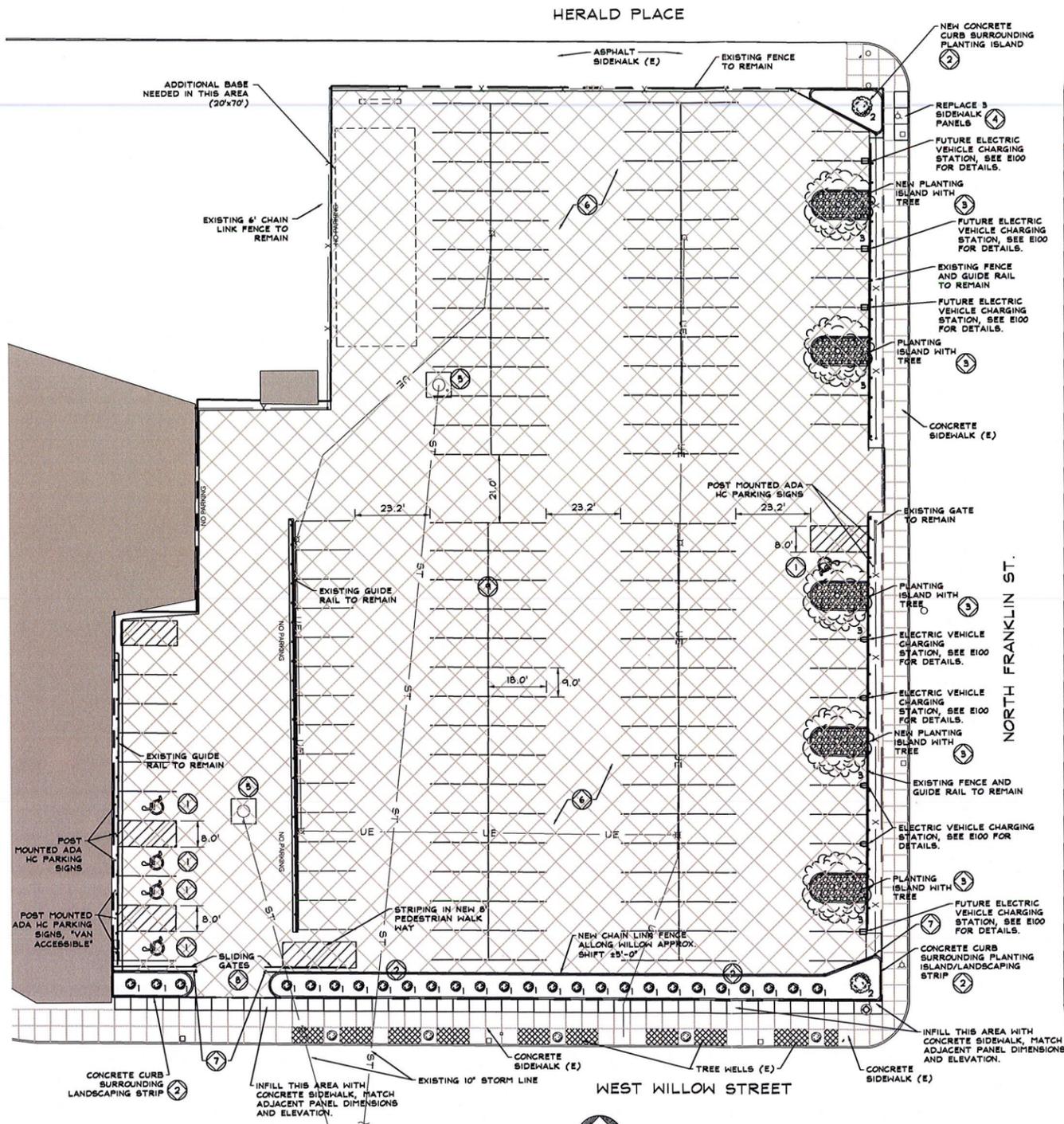
PROJECT TITLE
NIAGARA MOHAWK POWER CORPORATION
D.B.A. NATIONAL GRID
SYRACUSE OFFICE COMPLEX
300-324 WEST WILLOW STREET
PARKING LOT-2 REPLACEMENT AND STRIPING

PROJECT NO. 17-1959

TITLEBLOCK REVISION	10/3 2017	DRK
REVISION	DATE	BY
DATE	5/15/18	
DRAWN BY	DRK	
CHECKED BY	RES	
APPROVED BY	PNN	
SCALE	AS NOTED	

SHEET TITLE
SPECIFICATIONS

SHEET NO.
C001



PARTIAL SITE PLAN
 SCALE: 1" = 20'
 150 PARKING SPACES - 5 ADA SPACES REQUIRED/PROVIDED

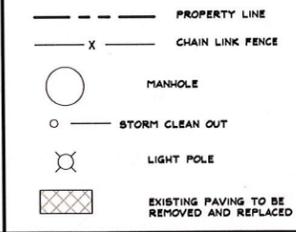
GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND ELEVATIONS OR DIMENSIONS PRIOR TO THE START OF WORK; THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER IMMEDIATELY AND BEFORE STARTING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL REQUIRED PERMITS FROM THE CITY.
3. PRIOR TO DIGGING, CONTRACTOR SHALL NOTIFY "DIG-SAFELY NEW YORK" IN ACCORDANCE WITH NEW YORK STATE LAW AND DETERMINE LOCATION OF ALL UNDERGROUND UTILITIES. PROVIDE 72 HR. ADVANCE NOTICE 1-800-942-7942. PROVIDE EXPLORATION EXCAVATIONS/PITS AS REQUIRED TO LOCATE UTILITIES.
4. CONTRACTOR SHALL PROTECT ALL EXISTING CONDITIONS TO REMAIN AND REPAIR ANY DAMAGES PROMPTLY TO ORIGINAL CONDITION.
5. COMPACTION REQUIREMENTS: SUBGRADE - 98% MAXIMUM DRY DENSITY. OWNER WILL EMPLOY TESTING LAB AT THEIR DISCRETION. CONTRACTOR WILL NOT EMPLOY TESTING LAB.
6. CONTRACTOR TO SURVEY LOT AND INSURE THAT ALL INSTALLED PAVING SHALL HAVE A POSITIVE SLOPE AT 1% MINIMUM. CONTRACTOR TO INSURE PROPER DRAINAGE. CATCH BASINS AND CLEAN-OUT ELEVATIONS TO BE ADJUSTED AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AND PREVENT TRIPPING HAZARDS.

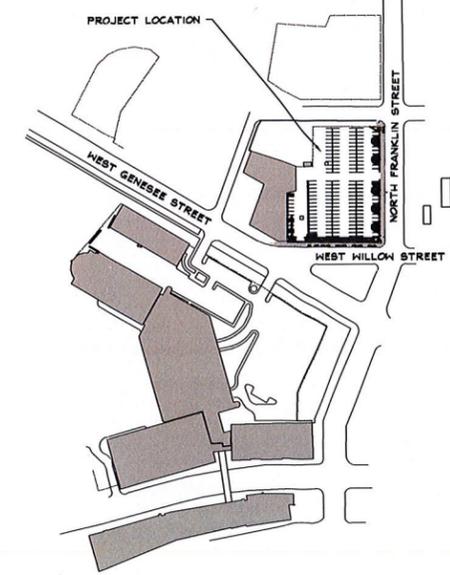
KEYED NOTES

1. PROVIDE ADA ACCESSIBLE SPACE AND ACCESS ISLES WITH APPROPRIATE SIGNS. SEE DETAIL 4/C500
2. PROVIDE LANDSCAPE PLANTINGS AS SHOWN. SEE 2/C500 FOR PLANTING SCHEDULE AND DETAILS. SEE 9/C500 FOR CURB DETAIL.
3. PROVIDE TREE ISLANDS AS SHOWN. SEE DETAIL 10/C500.
4. REPLACE 5 DETERIORATED SIDEWALK PANELS IN KIND WITH ADJACENT SIDEWALK AND MATCH ADJOINING ELEVATIONS, SEE 1/C500 FOR CLARITY.
5. RESET EXISTING CATCH BASIN RIMS AND CLEANOUTS AS NECESSARY TO BE FLUSH IN NEW GRADE. PROVIDE NEW CONCRETE APRON 2' OUT FROM EXISTING CATCH BASIN. RIM ELEVATION SHOULD BE 1/2" BELOW NEW CONCRETE APRON, SEE DETAIL 8/C500.
6. PROVIDE ASPHALT BINDER AND TOP OVERLAY IN ENTIRE PARKING LOT AS INDICATED ON DRAWINGS, SEE DETAIL 7/C500. PROVIDE FULL DEPTH ASPHALT PAVING WHERE FULL DEPTH REMOVAL IS REQUIRED TO PERFORM WORK, SEE DETAIL 6/C500.
7. PROVIDE NEW CHAIN LINK FENCING ALONG WEST WILLOW STREET, SEE DETAIL 11/C500.
8. PROVIDE 2 NEW SLIDING ACCESS GATES (ONE ON EACH SIDE) AT WEST WILLOW STREET ENTRANCE. SEE 3/C500 FOR DETAILS.
9. PROVIDE PERMANENT 4" PAVEMENT MARKINGS FOR NEW PARKING LAYOUT AS ILLUSTRATED, SEE DETAIL 4/C500 FOR ADA SPOTS.

LEGEND



KEY PLAN



I AM A LICENSED PROFESSIONAL ARCHITECT/ENGINEER, TO ALTER THIS DOCUMENT IN ANY MANNER, ALTERATIONS MUST HAVE THE SEAL AND ELEVATION OR DIMENSIONS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER IMMEDIATELY AND BEFORE STARTING WORK. I AM NOT PROVIDING A DESCRIPTION OF THE ALTERATION, THE SIGNATURE AND DATE. THE UNDERSIGNED ARCHITECT/ENGINEER STATES THAT TO THE BEST OF HIS KNOWLEDGE, INFORMATION AND BELIEF, HE HAS COMPLIED WITH ALL APPLICABLE REQUIREMENTS OF THE 2015 INTERNATIONAL FAMILY OF CODES AND THE 2014 NEW YORK STATE ELECTRICAL CODE. © 2017



NIAGARA MOHAWK POWER CORPORATION
 D.B.A. NATIONAL GRID
SYRACUSE OFFICE COMPLEX
 300-324 WEST WILLOW STREET
 PARKING LOT-2 REPLACEMENT AND STRIPING

PROJECT NO. 17-1959

REVISION	DATE	BY
DATE	5/15/18	
DRAWN BY	DRK	
CHECKED BY	RES	
APPROVED BY	PNN	
SCALE	AS NOTED	

SHEET TITLE
PAVING, PLANTING AND STRIPING SITE PLAN

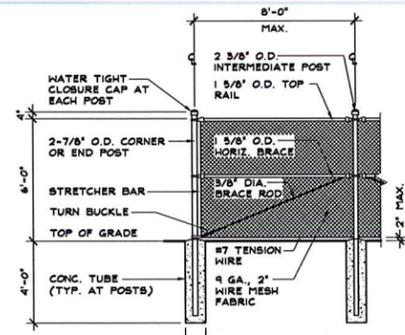
SHEET NO.
C101

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 ARCHITECTURAL ENGINEERING
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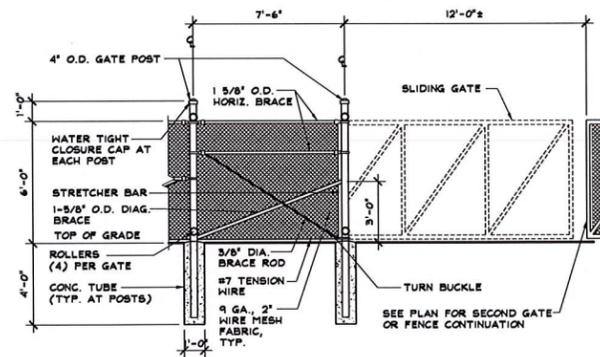
CU-STRUCTURAL SOIL™

A UNIFORMLY BLENDED URBAN TREE MIXTURE OF CRUSHED STONE, CLAY LOAM AND GELSCAPE® HYDROGEL TACKIFIER, AS PRODUCED BY AN AMEREG-LICENSED COMPANY, MIXED IN THE FOLLOWING PROPORTION:

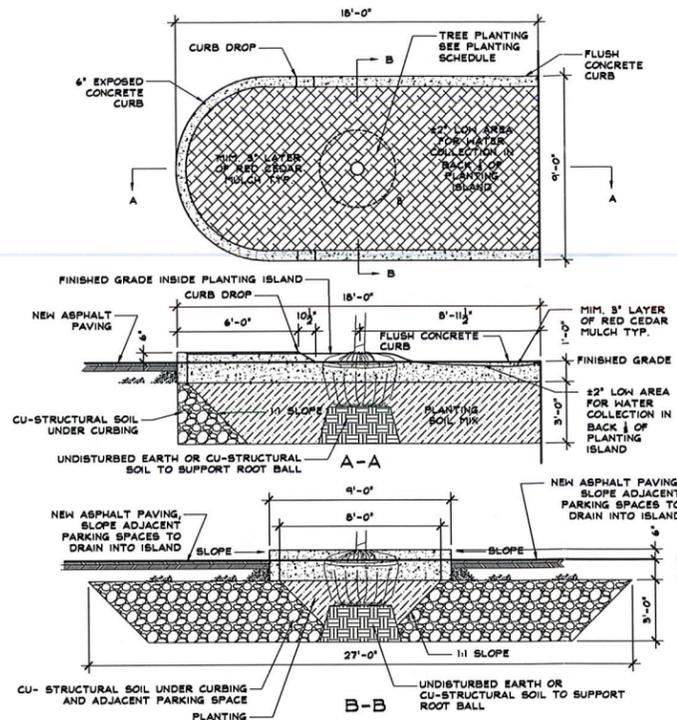
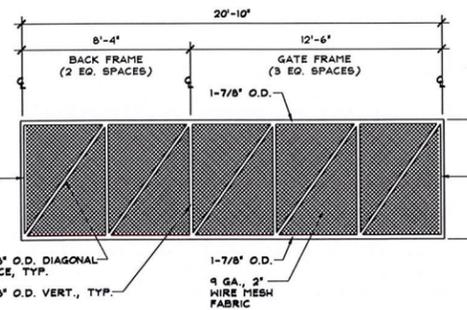
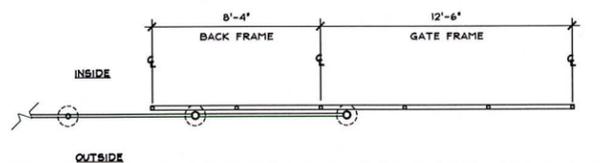
MATERIAL	UNIT OF HEIGHT
• SPECIFIED CRUSHED STONE	100 UNITS DRY WEIGHT
• SPECIFIED CLAY LOAM	20-25 UNITS (TO ACHIEVE MINIMUM CBR OF 50)
• GELSCAPE® HYDROGEL TACKIFIER	0.035 UNITS DRY WEIGHT
• MOISTURE	ASTM D698/AASHTO T-99 OPTIMUM MOISTURE



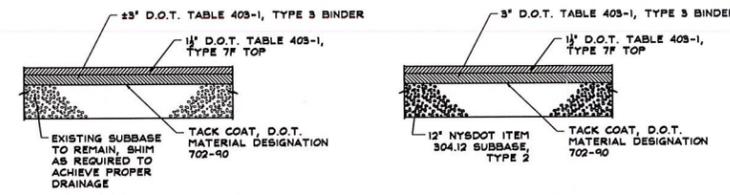
11 TYPICAL CHAIN LINK FENCE
SCALE: 1/4" = 1'-0"



3 SLIDING GATE
SCALE: 1/4" = 1'-0"

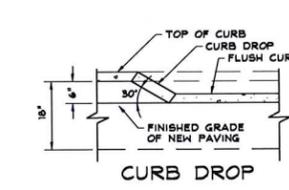


10 TREE PLANTING ISLAND DETAILS
SCALE: 1/4" = 1'-0"



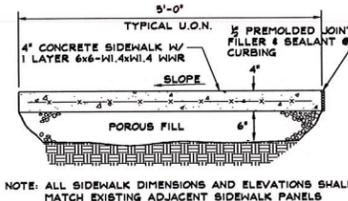
7 TYPICAL ASPHALT OVERLAY
SCALE: 1/2" = 1'-0"

6 TYPICAL ASPHALT PAVING
SCALE: 1/2" = 1'-0"



9 CONCRETE CURB DETAIL
SCALE: 3/4" = 1'-0"

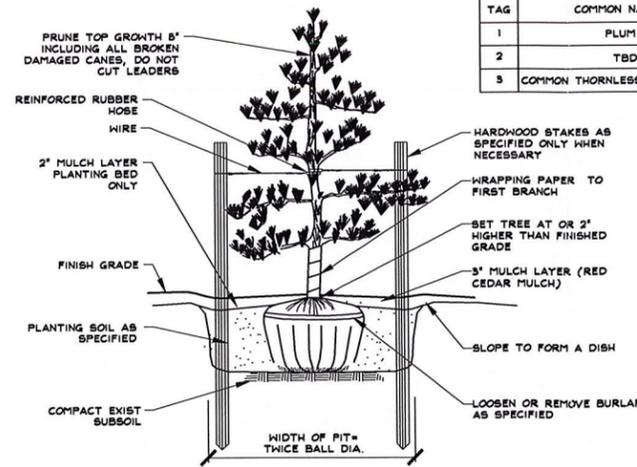
- TRAFFIC SIGNAGE**
1. ALUMINUM SIGN PANELS: FABRICATED FROM FLAT ALUM. SHEETING, ASTM B209, ALLOY 6061-T6 OR ALLOY 5052-H38 OF THE FOLLOWING THICKNESS AND MOUNTED, UNLESS OTHERWISE SPECIFIED: SIGNS LESS THAN OR EQUAL TO 10 SQUARE FEET SHALL MOUNT ON A SINGLE POST AND SHALL HAVE A THICKNESS OF 0.06 INCHES.
 2. SIGN SUPPORTING HARDWARE SHALL BE ALUMINUM OR STAINLESS STEEL.
 3. REFLECTIVE SHEETING SHALL MEET THE REQUIREMENTS OF AASHTO M 286.
 4. THE SIGN FABRICATOR SHALL DESIGN A COMPLETE SYSTEM OF FASTENERS AND ANCHORAGE DEVICES FOR THE VARIOUS SIGNS, AS REQUIRED FOR THE ATTACHMENT TO THE VARIOUS SUPPORTING STRUCTURES. THESE MAY INCLUDE CONCEALED CLIP SYSTEMS, FACE SCREWS AND EPOXY ADHESIVES, WHEREVER REASONABLY POSSIBLE. FASTENINGS AND ANCHORAGE DEVICES SHALL BE FULLY CONCEALED AND VANDAL PROOF. THE CONTRACTOR SHALL PROVIDE SAFE AND SECURE INSTALLATIONS IN A STRICT CONFORMANCE TO THE GOVERNING LAWS AND BUILDING CODE.
 5. THE HEIGHT OF THE SIGNS ABOVE THE GROUND SURFACES SHALL MEET AMERICANS WITH DISABILITIES ACT "ADA" REQUIREMENTS.
 6. SURFACES OF SIGNS SHALL BE CLEANED AS RECOMMENDED BY MANUFACTURER AFTER INSTALLATION.
 7. ALL DEFECTIVE WORK SHALL BE REMOVED AND REPLACED WITH WORK CONFORMING TO THE SPECIFIED REQUIREMENTS.



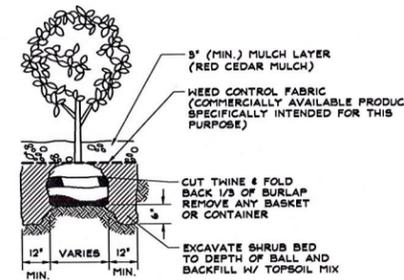
5 TYPICAL CONCRETE SIDEWALK DETAIL
SCALE: 3/4" = 1'-0"

PLANTING SCHEDULE

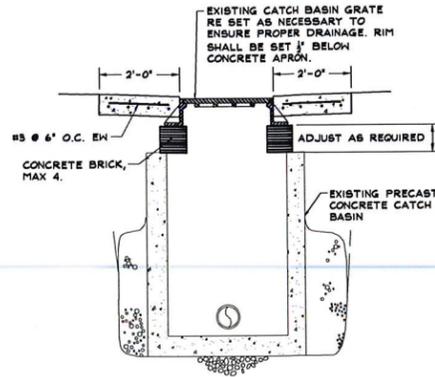
TAG	COMMON NAME	SPACING	MIN. HEIGHT	MIN. WIDTH	TYPE
1	PLUM YEW	7'-6"±	1 FT.	1 FT.	2
2	TBD	NA	6 FT.	-	1
3	COMMON THORNLESS HONEYLOCUST	NA	10 FT.	-	NA



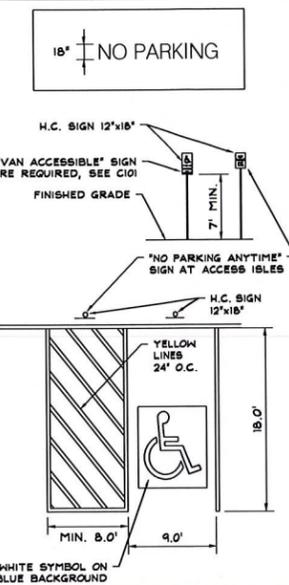
2 PLANTING DETAILS
SCALE: NONE



TYPE 2



8 TYPICAL CATCH BASIN
SCALE: 1/2" = 1'-0"



4 PAVEMENT MARKINGS TYP.
SCALE: NONE



1 DETERIORATED SIDEWALK PANELS
SCALE: NONE

I, B.A. VIGOR, OF NEW YORK STATE EDUCATION, AS A LICENSED PROFESSIONAL ARCHITECT, SOLELY AS A PROFESSIONAL ENGINEER, ARCHITECT, AND PROFESSIONAL ENGINEER, HAVE THE SEAL AND SIGNATURE OF THIS DOCUMENT. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES IN ANY WAY. ALTERATIONS MUST HAVE THE SEAL AND SIGNATURE OF A LICENSED PROFESSIONAL ARCHITECT, SOLELY AS A PROFESSIONAL ENGINEER, ARCHITECT, AND PROFESSIONAL ENGINEER. THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE APPLICABLE REQUIREMENTS OF THE 2018 INTERNATIONAL FAMILY OF CODES AND THE 2018 NEW YORK STATE UNIFORM CODE SUPPLEMENT, AND THE 2018 NATIONAL ELECTRICAL CODE. © 2018


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NIAGARA MOHAWK POWER CORPORATION
 D.B.A. NATIONAL GRID
SYRACUSE OFFICE COMPLEX
 300-324 WEST WILLOW STREET
 PARKING LOT-2 REPLACEMENT AND STRIPING

PROJECT NO. 17-1959

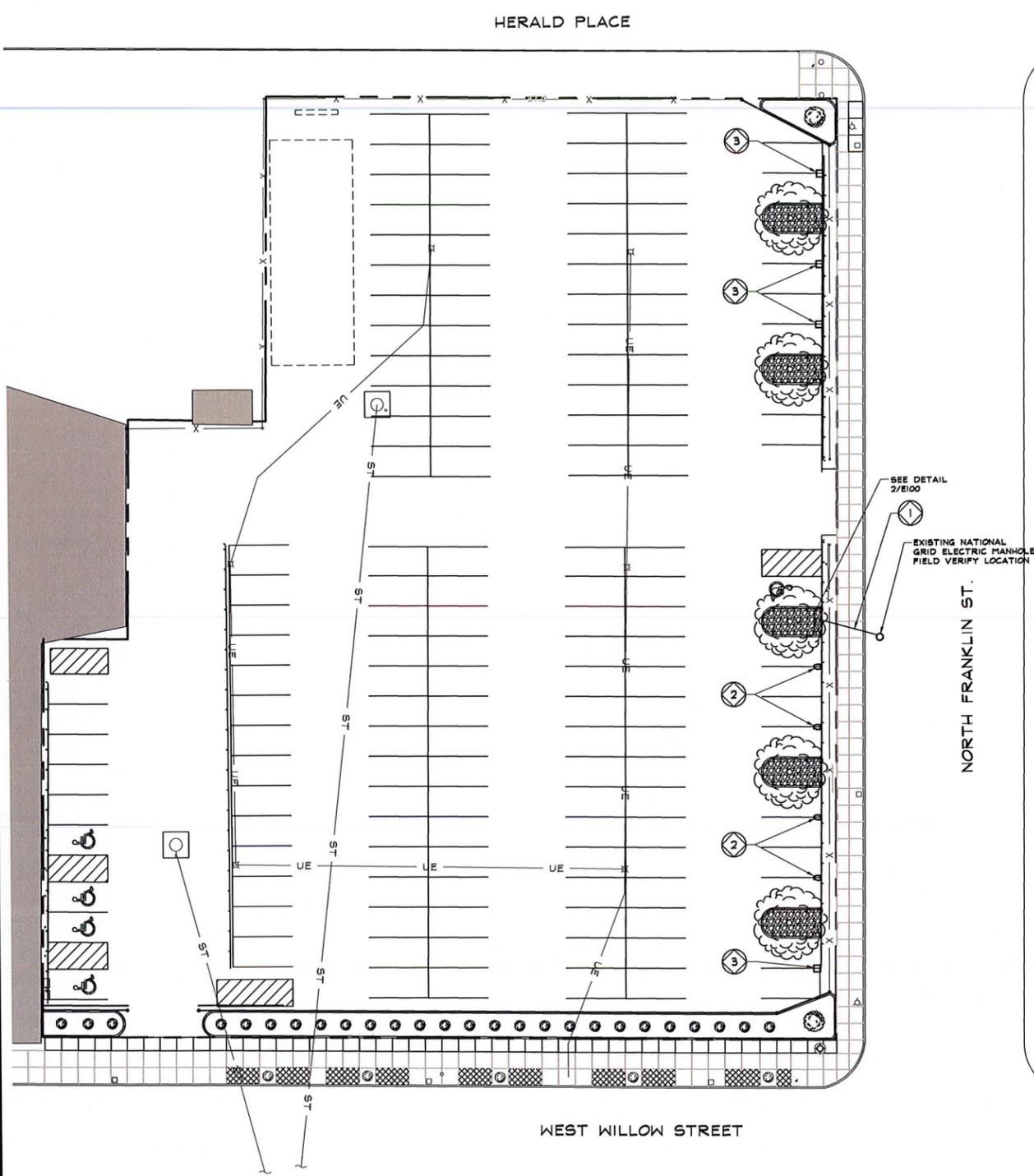
REVISION	DATE	BY
	5/15/18	

DRAWN BY DRK
 CHECKED BY RES
 APPROVED BY PNN

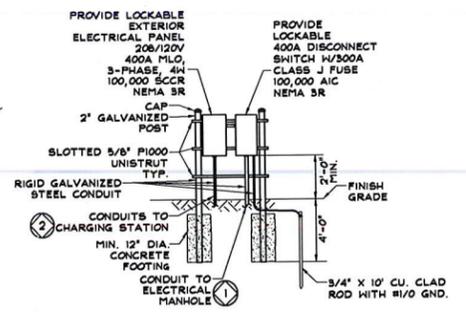
SCALE AS NOTED

SHEET NO.

C500



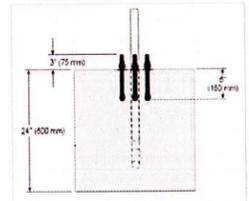
1
E100
PARTIAL SITE PLAN
SCALE: 1" = 20'



- 2
E100
ELECTRIC SERVICE DETAIL
SCALE: NTS
- KEYED NOTES
1. PROVIDE 4-350KCMIL-#4GRD. IN 3" CONDUIT. TERMINATE FEEDERS AT NATIONAL GRID ELECTRICAL MANHOLE. COORDINATE TERMINATION REQUIREMENTS WITH NATIONAL GRID.
 2. PROVIDE 4#8-#10GRD. IN 1-1/2" CONDUIT.

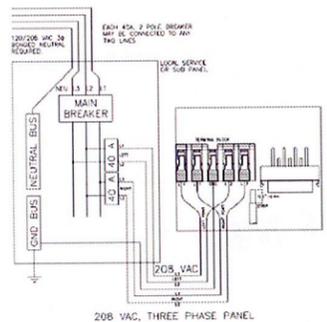


3
E100
EV CHARGING STATION ANCHOR AND CONDUIT STUB UP
SCALE: NTS



4
E100
EV CHARGING STATION CONCRETE BASE DETAIL
SCALE: NTS

1. THE CONCRETE BASE MUST MEASURE AT LEAST 24" ON ALL SIDES.
2. THE BOLT THREADS MUST EXTEND 3" ABOVE THE CONCRETE.
3. THE CONDUIT MUST BE AT LEAST 1/2" IN DIAMETER AND EXTEND 12" TO 24" ABOVE THE CONCRETE.
4. REFER TO THE CT4000 INSTALLATION GUIDE FOR DETAILED INSTALLATION INSTRUCTIONS.



5
E100
EV CHARGING STATION WIRING DIAGRAM
SCALE: NTS

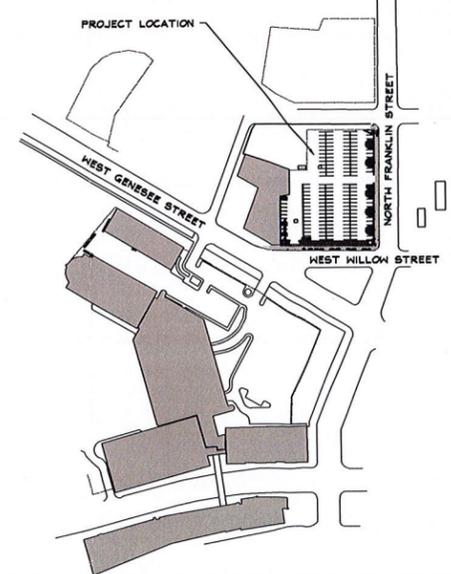
GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING CONDUIT PATHS AND SIZES IN SHOP DRAWINGS.
2. ELECTRICAL CONTRACTOR SHALL VERIFY FILED CONDITIONS BEFORE SUBMITTING BID.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, BUILDING CODES AND CURRENT OSHA REQUIREMENTS.
4. ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, ETC. REQUIRED.
5. ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR BOTH ROUGH AND FINAL UNDERWRITES OR OTHER APPROVED INSPECTION AGENCY CERTIFICATES OF 'ELECTRICAL INSPECTION'. THESE CERTIFICATES SHALL BE PRESENTED WITH REQUEST FOR FINAL PAYMENT.
6. IT IS THE INTENT OF THESE PLANS TO PROVIDE A COMPLETE OPERATING ELECTRICAL SYSTEM. CONTRACTOR SHALL FURNISH AND INSTALL ALL WIRING, EQUIPMENT, MATERIAL, ETC. REQUIRED, EXCEPT WHERE SPECIFICALLY NOTED AS BEING FURNISHED BY OTHERS. SHOULD THERE BE ANY QUESTIONS CONCERNING RESPONSIBILITY, THEY SHALL BE SETTLED BEFORE BID SUBMISSION AND CONTRACT SIGNING. NO EXTRA CHARGES WILL BE ALLOWED.
7. ELECTRICAL SERVICE SHALL BE COORDINATED WITH THE UTILITY COMPANY. CONTRACTOR SHALL PAY ALL FEES LEVIED FOR SERVICE.
8. PANEL SHALL BE LABELED 'SUITABLE FOR SERVICE ENTRANCE EQUIPMENT'. CIRCUIT BREAKER PANELS SHALL BE 'BOLT ON' BREAKER TYPE. COORDINATE INTERRUPTING CAPACITY OF PANEL AND ALL CIRCUIT BREAKERS WITH THE UTILITY CO. ALL PANELBOARD BUSES SHALL BE COPPER.
9. WIRING SHALL BE TYPE THHN OR THWN UNLESS OTHERWISE NOTED BELOW OR ON THE DRAWINGS.
10. TERMINATIONS (LUGS, TERMINALS, ETC.) ON ALL EQUIPMENT SHALL BE RATED FOR USE WITH 75°C.
11. ALL POWER WIRE AND CABLE CONDUCTORS SHALL BE COPPER WITH INSULATION RATED 600V. CONDUCTORS SIZED #10 AWG AND SMALLER SHALL BE SOLID WIRE. CONDUCTORS SIZED LARGER THAN #10 AWG SHALL BE STRANDED WIRE.
12. ALL WIRING INSTALLED UNDER THIS CONTRACT SHALL BE TESTED FOR PROPER CONNECTIONS AND SHORT CIRCUITS PRIOR TO THE TURNING OVER OF WORK AS A COMPLETE UNIT.
13. PROVIDE ALL ELECTRICAL SYSTEM GROUNDING AS SHOWN ON DRAWINGS AND IN ACCORDANCE WITH THE NEC AND ALL APPLICABLE LOCAL CODES.
14. DISC. SW. AND PANELBOARDS SHALL BE HEAVY DUTY TYPE NEMA 3R WITH LOCKABLE HANDLE. ONE MANUFACTURER SHALL BE USED THROUGHOUT THE PROJECT. ACCEPTABLE MANUFACTURERS ARE: SQUARE D, GE, SIEMENS, CUTLER-HAMMER.
15. ALL WIRE NUTS SHALL BE 3/8 WIRE NUT TYPE WITH INTERIOR COPPER THREAD TYPE COILS.
16. IN LIEU OF VOLTAGE DROP CALCULATIONS, ANY BRANCH CIRCUIT WITH A TOTAL LENGTH (VERTICAL AND HORIZONTAL RUN COMBINED) OVER 100' SHALL USE A MINIMUM OF THE NEXT STANDARD WIRE SIZE OVER THE NORMAL SIZE SHOWN IN THE NEC TABLE.
17. DO NOT MAKE ANY CHANGES OR SUBSTITUTIONS WITHOUT SPECIFIC WRITTEN APPROVAL FOR THE OWNER, ARCHITECT OR ENGINEER.
18. GUARANTEE ALL WORK, MATERIAL, AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF APPROVAL AND FINAL ACCEPTANCE.
19. THE DESIGN IS BASED ON INITIAL DESIGN DATA. ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL FEEDERS, FUSES AND C.B. TO MATCH THE NAME PLATE RATINGS OF ALL EQUIPMENT. THIS SHALL BE INCLUDED IN THE INITIAL BID PROPOSAL AND NO EXTRAS SHALL BE ENTERTAINED.
20. ELECTRICAL CONTRACTOR TO BALANCE LOAD IN ALL PANELS ACROSS ALL PHASES.
21. MAKE ARRANGEMENTS WITH LOCAL TELEPHONE AND ELECTRIC UTILITY COMPANIES TO PROVIDE SERVICE. PROVIDE EQUIPMENT IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS.
22. UTILITY CROSSING - EXCAVATE TRENCH WITH CAUTION AT THESE LOCATIONS.
23. PRIOR TO DIGGING CONTRACTOR SHALL NOTIFY 'DIG SAFELY NEW YORK' IN ACCORDANCE WITH NEW YORK STATE LAW AND DETERMINE LOCATIONS OF ALL UNDERGROUND UTILITIES. PROVIDE 72 HOUR NOTICE IN ADVANCE TO 1-800-962-7962. COORDINATE ALL DIGGING WITH OWNER REPRESENTATIVES.

KEYED NOTES

1. PROVIDE 3" CONDUIT FROM NATIONAL GRID ELECTRIC MANHOLE TO ELECTRIC SERVICE EQUIPMENT. SEE 2/E100 FOR DETAILS. COORDINATE ALL REQUIREMENTS WITH NATIONAL GRID.
2. PROVIDE ELECTRIC VEHICLE CHARGING STATION. MANUFACTURER CHARGEPOINT MODEL: 4' DIAM PORT BOLLARD MOUNTED CT4021. PROVIDE BOLLARD CONCRETE MOUNTING KIT CT4001-CM. VERIFY ALL REQUIREMENT WITH MANUFACTURER FOR FULLY FUNCTIONAL SYSTEM.
3. PROVIDE 24"x24" CONCRETE BASE FOR FUTURE EV CHARGING STATION. PROVIDE 1-1/2" CONDUIT FROM ELECTRICAL PANEL TO CONCRETE BASE. CONDUIT AT THE CONCRETE BASE SHALL BE FLASH WITH BASE AND CAP. PROVIDE FULL STRING IN THE CONDUITS.

KEY PLAN



NA
NELSON ASSOCIATES
ARCHITECTURAL ENGINEERING
1 North Park Row · Clinton, NY 13323-1536



NIAGARA MOHAWK POWER CORPORATION
D.B.A. NATIONAL GRID
SYRACUSE OFFICE COMPLEX
300-324 WEST WILLOW STREET
PARKING LOT-2 REPLACEMENT AND STRIPING

PROJECT NO. 17-1959

TITLEBLOCK	10/3	DRK
REVISION	DATE	BY
DATE	5/15/18	
DRAWN BY	GAM	
CHECKED BY	PNN	
APPROVED BY	PNN	
SCALE	AS NOTED	

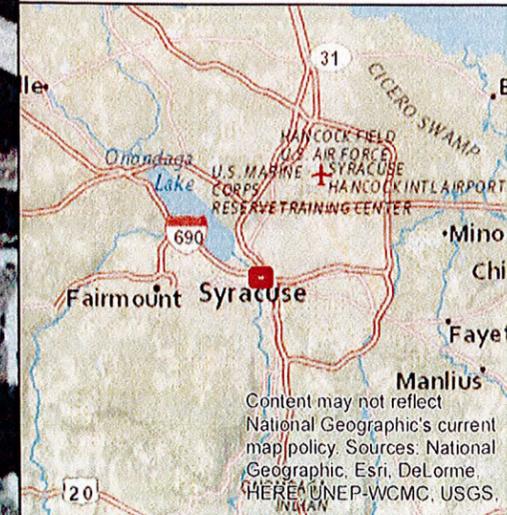
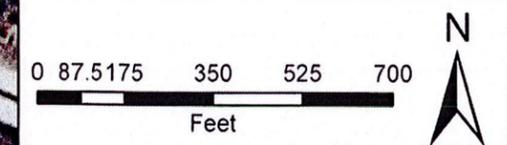
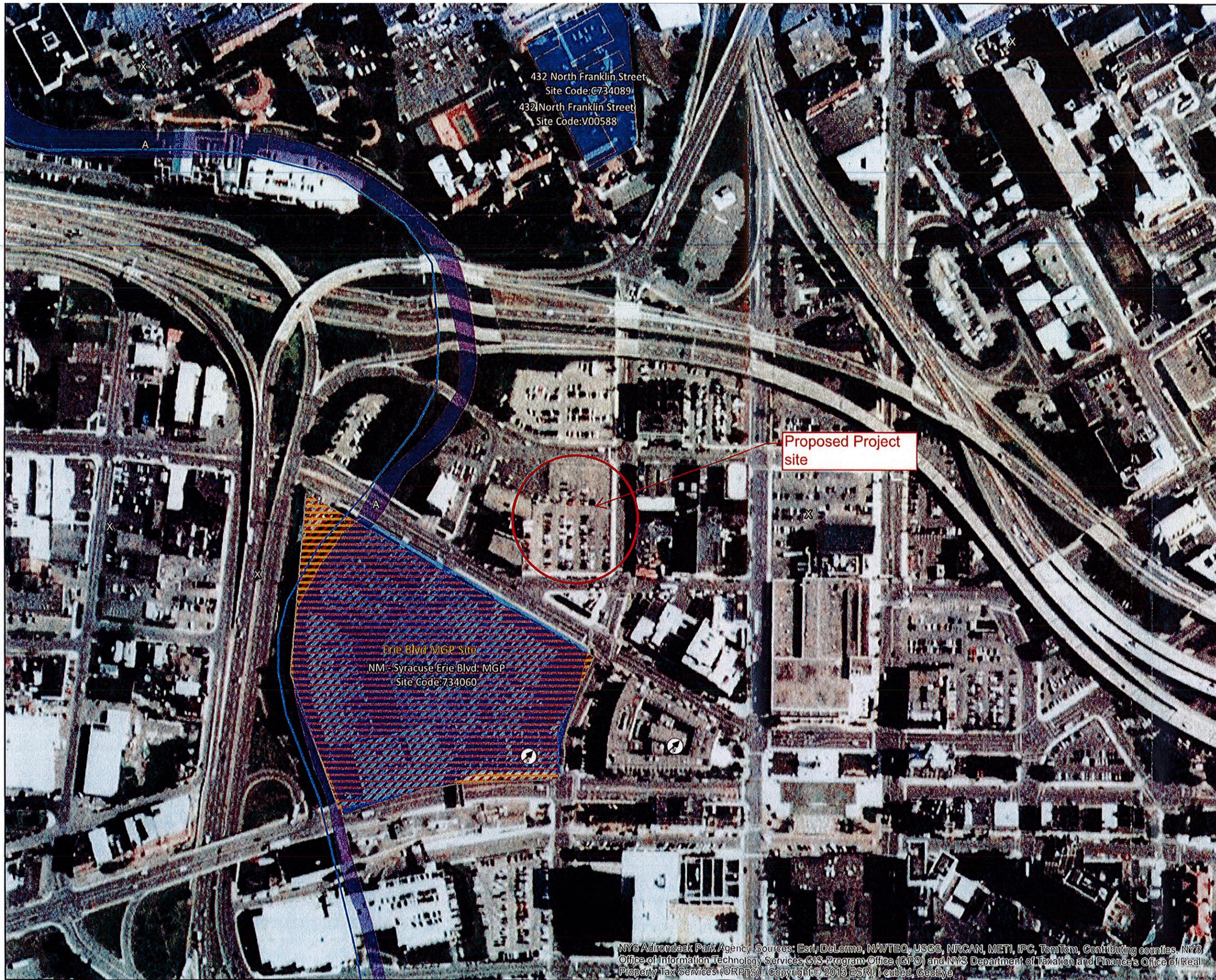
SHEET TITLE
SITE PLAN

SHEET NO.
E100

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO PREPARE, SEAL, SIGN, OR ISSUE ANY ARCHITECTURAL, ENGINEERING, OR SURVEYING DRAWINGS, SPECIFICATIONS, OR REPORTS WITHOUT BEING A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, OR SURVEYOR. THE PENALTY FOR SUCH VIOLATION IS IMPRISONMENT FOR UP TO 5 YEARS, A FINE OF UP TO \$5,000, OR BOTH, AND THE REVOCATION OF ANY LICENSES OR CERTIFICATES OF REGISTRATION. THE 2015 INTERNATIONAL FAMILY OF CODES AND STANDARDS, INCLUDING THE 2015 INTERNATIONAL ELECTRICAL CODE, IS INCORPORATED BY REFERENCE INTO THESE PLANS. THESE PLANS SHALL BE CONSIDERED VOID WITHOUT THESE REFERENCES. THE 2015 INTERNATIONAL ELECTRICAL CODE, AND THE 2015 NATIONAL ELECTRICAL CODE. © 2017

Legend

- Streams
- NYSDEC Wetlands
- NYSDEC Wetland Buffer
- NWI Wetlands
- NYS Listed Hazardous Waste Site
- 100 Year Floodplain
- 500 Year Floodplain
- Area Not Assessed
- Coastal Flood Zone



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Niagara Mohawk Power Corporation d/b/a National Grid			
Name of Action or Project: National Grid Parking Lot #2 Resurface and Re-stripe Project			
Project Location (describe, and attach a location map): The Project site is located at 300-324 West Willow Street Syracuse, NY 13202			
Brief Description of Proposed Action: National Grid is proposing to resurface and re-stripe their existing Parking Lot #2. The parking lot is bounded by Wallace Street to the west, Herald Pl. to the north, North Franklin Street to the east and West Willow Street to the south.			
Name of Applicant or Sponsor: Niagara Mohawk Power Corporation d/b/a National Grid. Attn: Dennis Gleason		Telephone: (315) 460-1100 E-Mail: dennis.gleason@nationalgrid.com	
Address: 300 Erie Boulevard West			
City/PO: Syracuse		State: New York	Zip Code: 13202
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		+/- 1.35 acres	
b. Total acreage to be physically disturbed?		+/- 1.35 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		+/- 1.35 acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
National Grid has completed remediation of their 300 Erie Boulevard West Property (adjacent property to the proposed project). No impact to this property will occur from the proposed project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>Niagara Mohawk Power Corporation</u> Date: <u>10/4/2014</u>		
Signature: <u><i>Michael E. Guerin</i></u>		
<u>Michael E. Guerin, Authorized Representative</u>		