

PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V- <u>12 - 2711</u>
Tax map Section: <u>018</u> Block: <u>11</u> Lot: <u>30.0</u> Zoning District: <u>RB</u>	

1. Address of subject property: 115 GREEN STREET, SYRACUSE, NY 13203

2. Year property was purchased by current owner: 2017

3. Applicant/contact information:

a. Owner(s) (current titleholder):

Name(s): CEDENO REAL ESTATE ENTERPRISES LLC
Mailing Address: 115 GREEN STREET, SYRACUSE, NY
Zip: 13203 Daytime phone number: 646-342-7415 home phone number: _____
E-mail (alternate contact for additional information request): CLARA_CEDENO@HOTMAIL.COM

b. Contract purchaser(s) , Lessee , or Co-applicant (if applicable)

***note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.**

Name(s): _____
Mailing Address: _____
Zip: _____ Home phone number: _____ Day Phone: _____
E-mail (alternate contact for additional information request): _____

c. Representative: Attorney , Architect , Contractor , Other
(Only if involved in this application)

Name(s): DANIEL MANNING
Mailing Address: 225 WILKINSON STREET, SYRACUSE, NY
Zip: 13204 Telephone number: 315-424-0141

4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.): _____
1ST FL: RESTAURANT; 2ND FL: OFFICE

Proposed use and occupancy of property: RESTAURANT; 1ST & 2ND FLOORS

Current number of onsite (off-street) parking spaces: 0

Proposed number of onsite (off-street) parking spaces: 11AM-3PM: LACI'S LOT (18); 6PM-ON: HAIRANOIA'S LOT (10)

Days and hours of operation (for any business uses): SUN-MON: CLOSED; TUES-THURS: 11AM - 9PM;
FRI-SAT: 11AM - 12AM

Explain in detail what (if any) new additions or construction is proposed on the site: SEE ATTACHED

Reason for request:

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that *the standards of proof for a use variance are much more demanding* than for an area variance and that *the burden is on the applicant* to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary. SEE ATTACHED

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

DECLARATION

I understand that false statements made herein are **punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York**. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application **will make consideration of this application null and void**.

CURRENT PROPERTY OWNER SIGNATURE

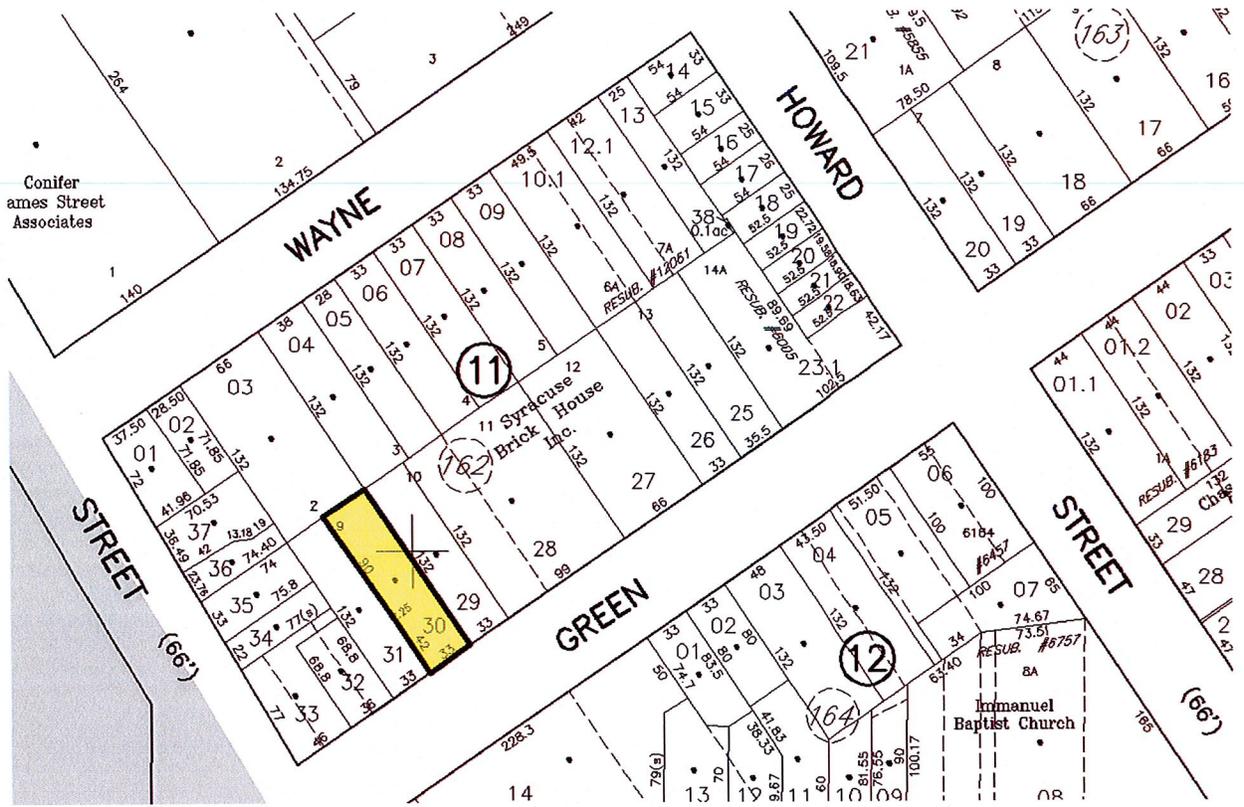
As listed on the City of Syracuse Tax Assessment Roll. If not listed as the owner on the current rolls, please include a proof of ownership, for example, a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. Architects, engineers, contractors, tenants, etc. cannot sign on behalf of the property owner. If property owner is a Corporation or an Organization, then the person signing must provide verification they are a member of such, and can sign on the owners' behalf.


CURRENT PROPERTY OWNER SIGNATURE 20-JULY-2018
DATE

CLARA N. CEDENO - SOLE MEMBER
Please legibly PRINT SIGNATURE NAME and TITLE

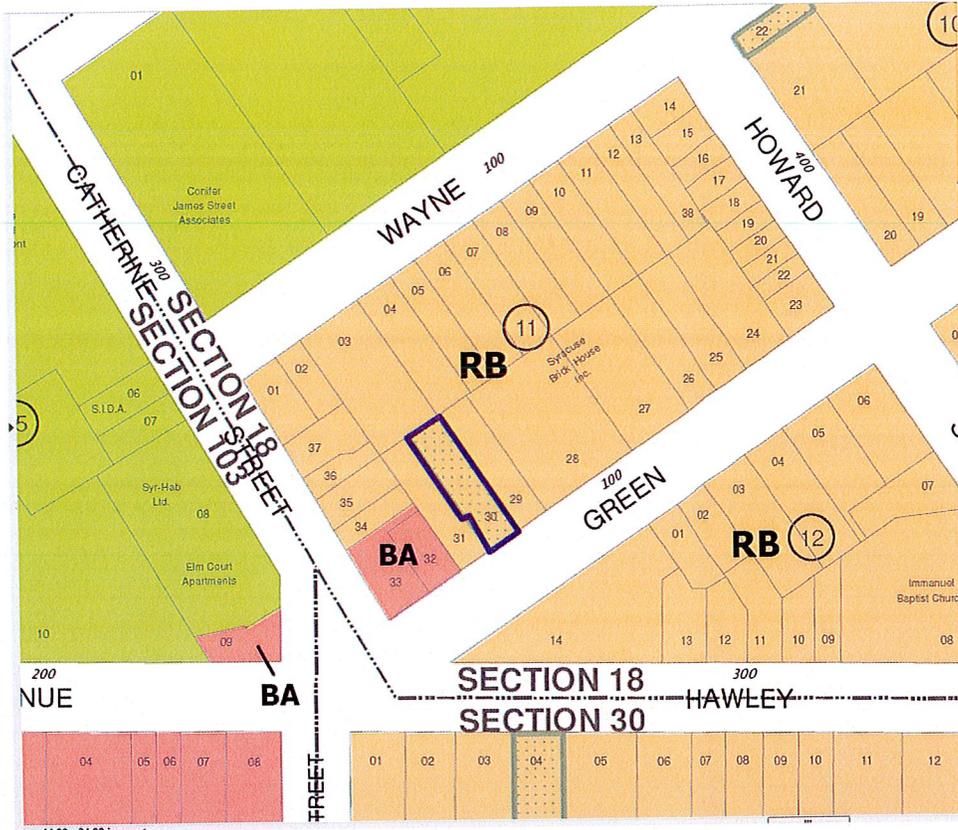
115 GREEN STREET

V-12-27 M1



115 GREEN STREET

V-12-27 M1



DENIAL OF PERMIT

REFERENCE ADDRESS 115 GREEN ST
WARD NO. _____

OWNER CEDEÑO REAL ESTATE ENTERPRISES LLC.

OWNER'S ADDRESS 721 N. CLINTON ST.
SYRACUSE, NY

CONTACT: CLARA CEDEÑO - 1-646-342-7415 TELEPHONE _____

APPLICATION FOR PERMIT TO:

erect (). convert (x) maintain () operate (x)

EXPAND A RESTAURANT USE PREVIOUSLY ALLOWED FOR BY VARIANCE (NOT
PERMITTED BY RIGHT). ENTIRE BUILDING TO BECOME/PROPOSED AS RESTAURANT.
DENIED UNDER ARTICLE (s) _____

_____ of the zoning ordinance for the following reasons: _____

- PLANS ATTACHED, APPROVED BY _____ ON _____
- SURVEY ATTACHED
- ZONING REVIEWED BY _____

LOCATION OF REFERENCE ADDRESS:
ASSESSOR'S ATLAS
BOOK (S) NO. _____
PLATE (S) NO. _____
PARCEL (S) NO. _____

DATE 7-19-18 SIGNATURE Gail Swistak

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
CEDENO REAL ESTATE ENTERPRISES LLC			
Name of Action or Project: 115 GREEN STREET			
Project Location (describe, and attach a location map): 115 GREEN STREET, SYRACUSE, NY 13203, ONONDAGA COUNTY, TAX MAP ID 018.-11-30.0			
Brief Description of Proposed Action: Approve Use Variance to expand a restaurant use previously allowed for by Variance on 1st floor (not permitted by right) as Laci's Lunchbox. Entire building, located at 115 Green Street and approximately 2,722 SF, to become/proposed as restaurant under new name (and owner) La Patria Café. Also seeking Site Plan approval for interior modifications as follows; EXISTING KITCHEN WINDOW (UNORIGINAL) TO BE REMOVED – 1ST FLOOR. NEW KITCHEN EXHAUST/HOOD TO BE INSTALLED BY GERHARZ EQUIPMENT – 1ST FLOOR. w/ MAKE-UP AIR UNIT IN ATTIC SPACE. INFILL EXISTING OPENING – 1ST FLOOR			
Name of Applicant or Sponsor: LA PATRIA CAFE LLC / CLARA CEDENO		Telephone: 646-342-7415	
		E-Mail: CLARA@LAPATRIACAFE.COM	
Address: 115 GREEN STREET			
City/PO: SYRACUSE		State: NY	Zip Code: 13203
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>
			YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: CITY OF SYRACUSE WORK PERMIT CITY OF SYRACUSE LANDMARK PRESERVATION BOARD CERTIFICATE OF APPROPRIATENESS (APPROVED)			NO <input type="checkbox"/>
			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 33 x 132 acres	*WORK TO BE COMPLETED TO BLDG STRUCTURE ONLY
b. Total acreage to be physically disturbed?		_____ N/A acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ N/A acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: CLARA N. CEDENO	Date: 20-JULY-2018	
Signature:  - SOLE MEMBER		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

VARIANCE APPLICATION RESPONSES: 115 GREEN STREET, SYRACUSE, NY 13203

Explain in detail what (if any) new additions or construction is proposed on the site:

Approve Use Variance to expand a restaurant use previously allowed for by Variance on 1st floor (not permitted by right) as Laci's Lunchbox. Entire building, located at 115 Green Street and approximately 2,722 SF, to become/proposed as restaurant under new name (and owner) La Patria Café. Also seeking Site Plan approval for modifications as follows;

- ELIMINATION OF ONE EXISTING WINDOW (NOT ORIGINAL) AT THE KITCHEN AREA (**see attached approved SLPB COA resolution**)
- CONVERT ONE EXISTING (ORIGINAL) WINDOW INTO AN EGRESS DOOR (**see attached approved SLPB COA resolution**)
- EXTERIOR OF THE PROPERTY WILL BE PAINTED PER THE ATTACHED ELEVATIONS AND COLOR SCHEME (**see attached approved SLPB COA resolution**)
- ADDING A NEW PAINTED WOOD RAILING AT THE EXISTING FRONT PORCH OF THE BUILDING (**see attached approved SLPB COA resolution**)
- REMOVAL OF EXISTING PRESSURE TREATED STEPS (**see attached approved SLPB COA resolution**)
- INSTALLATION OF NEW PRESSURE TREATED STEPS AT NEW EXIT DOOR (**see attached approved SLPB COA resolution**)
- INSTALLATION OF NEW EXTERIOR GATE (**see attached approved SLPB COA resolution**)
- INSTALLATION OF NEW SHRUBBERY TO REPLACE EXISTING OVERGROWN SHRUBBERY; NEW SHRUB SPECIES TO BE BOXWOOD (**see attached approved SLPB COA resolution**)
- PROPOSED SIGN TO BE INCORPORATED INTO THE NEW FRONT PORCH RAILING (**see attached approved SLPB COA resolution**)
- EXISTING KITCHEN WINDOW (UNORIGINAL) TO BE REMOVED – 1ST FLOOR.
- NEW KITCHEN EXHAUST/HOOD TO BE INSTALLED BY GERHARZ EQUIPMENT – 1ST FLOOR
- w/ MAKE-UP AIR UNIT IN ATTIC SPACE
- INFILL EXISTING OPENING – 1ST FLOOR
- NEW 3' X 6'8" CASED OPENING – 1ST FLOOR
- NEW 1-HOUR RATED 3'-0" DOOR - CLOSED ATTIC ACCES W/ SELF CLOSING MECHANISM -2ND FLOOR

VARIANCE APPLICATION RESPONSES: 115 GREEN STREET, SYRACUSE, NY 13203

Reason for Request:

The owner and sole member of the property (Cedeno Real Estate Enterprises LLC) and future restaurant (La Patria Café LLC) is filing this Use Variance Application seeking approval to make minor modifications to the interior of the structure located at 115 Green Street, Syracuse, NY 13203 in order to properly function as a full service dine-in restaurant. The first floor will require these modifications to ensure proper kitchen installation, operation and fire exit. La Patria Café is also looking to modify the current Use Variance on the second floor (current use offices) to allow for the restaurant to extend seating to same floor.

Details of Proposal:

La Patria Café's (LPC) mission is to provide the greater Syracuse community with a unique Latin dining experience. Latin food is hugely misunderstood within the Syracuse, NY market as being cafeteria take-out food. LPC will serve foods from across Latin Caribbean countries - Dominican Republic, Cuba, and Puerto Rico where dishes are a blend of Taino, Spanish, and African cuisines - and Latin America where cuisines take on varying techniques and influences from Asia and the Mediterranean – Peru and Argentina for example. The unique dining experience will be presented through the ambiance (an upscale-casual environment), the quality of food and presentation, and quality of service.

La Patria Café is currently planning to open during the following hours;

- Sunday: Closed
- Monday: Closed
- Tuesday: 11:00am – 9:00pm
- Wednesday: 11:00am – 9:00pm
- Thursday: 11:00am – 9:00pm
- Friday: 11:00am – 12:00am
- Saturday: 11:00am – 12:00am

LPC expects to open approximately 10 positions (1st floor) with additional opportunities pending use variance approval on second floor. LPC will also provide on-site and off-site catering;

Chef	1	Runner	1
Line Cook	2	Expeditor	2
Bartender	1	Server (2 nd flr) – pending use variance approval	2
Hostess	1	Runner (2 nd flr) – pending use variance approval	1
Server	2	On-site Catering – pending use variance approval	3

The first floor can seat approximately 29 patrons at any one time. Whereas the second floor would be utilized primarily for on-site catering, events, and regular dinner guests can accommodate approximately 23 patrons. The regular dinner guests will be critical to accommodate during the late fall, winter, and early spring seasons.

La Patria Café does plan on preparing and serving food items onsite. A draft menu has been provided. Please see attached.

SAMPLE MENU OF FOOD ITEMS TO BE PREPARED AND SOLD ONSITE

APERITIVOS

ARREPITA DE YUCA \$5

Cassava Patties. This is one of my favorite snacks! Shredded yuca sprinkled with aniseed, molded into a patty and lightly fried.

CHORIZO CON ACEITUNAS \$6

Chorizo with olives. A fragrant dish of bite sized chunks of chorizo, green olives, and green bell peppers sautéed in fresh garlic, thyme, and red wine.

EMPANADAS \$3

Try these savory pastry turnovers individually or as a sample (\$10).

Choice of Beef, Beef & Cheese, Chicken Curry, Shrimp, Vegetable Curry, or Spinach & Ricotta.

CEVICHE CLASICO \$00

Classic Peruvian Seafood Dish

CEVICHE MIXTO \$00

Classic Peruvian Seafood Dish

MEXICAN STREET CORN \$6

Add description

CHICHARRON DE POLLO \$10

Crispy Chunks of Fried Chicken

ENSALADAS

ENSALADA DE CASA \$7

LPC's house salad. Garlic herb couscous, arugula, and cranberries tossed in a homemade lemon vinaigrette dressing.

With Chicken or Shrimp \$10

ENSALADA DE AGUACATE \$6

Tropical Avocado Salad

With Chicken or Shrimp \$9

ENSALADA DE BISTEC \$10

LPC's house salad. Garlic herb couscous, arugula, and cranberries tossed in a homemade lemon vinaigrette dressing.

SOPAS

SANCOCHO DOMINICANO \$12

Traditional Dominican Meat Stew. Served with white rice or garlic bread.

SOPA DE POLLO \$10

Chicken Noodle Soup. Served with white rice or garlic bread.

SOPA DE PESCADO \$12

Seafood Soup. Served with white rice or garlic bread.

SOPA DE FRIJOLE NEGROS \$10

Black Bean Soup. Served with white rice or garlic bread.

SANDWICHES

EL DOMINICANO \$10

Chicken Breast Sandwich. Served with small side salad and your choice of fries.

EL MEXICANO \$11

Gorditas de Papas con Chorizo. Served with small side salad and your choice of fries.

EL CUBANO \$12

Cuban Sandwich. Served with small side salad and your choice of fries.

EL PUERTO RIQUEÑO \$12

Cerdo Criollo. Pork sandwich with salsa criolla. Served with small side salad and your choice of fries.



PLATOS PRINCIPALES

Served with a small side salad and your choice of two sides.

CHULETA \$13

Pork Chop

PERNIL \$15

Slow Roasted Pork.

POLLO AL AJILLO \$13

Chicken Breast in Garlic Sauce

POLLO MI CLARITA \$13

LPC's Rotisserie Chicken

PESCADO DE BOCA CHICA \$?

Classic Dominican-style Fried Fish

PESCADO A LA PARRILLA \$?

Grilled Fish

MOFONGO \$14

Plantains with Pork Crackling

CAMARAFONGO \$14

Plantains with Pork Crackling with Shrimp and Garlic Sauce

CHURRASCO \$20

Argentinian-style Grilled Steak

COSTILLAS \$20

Beef Ribs



GUARNICIONES

PRICING IS STILL BEING DETERMINED FOR SIDES.

YUQUITAS \$00

Cassava Fries

BATATAS FRITAS \$00

Sweet Potato Fries

PAPAS FRITAS \$00

French Fries

ARROZ BLANCO \$00

White Rice

ARROZ CON GUANDULES \$00

Rice and Peas

TOSTONES VERDES \$00

Fried Green Plantains

TOSTONES MADUROS \$00

Fried Sweet Plantains

BEANS OF THE DAY \$00

Please inquire with your server

POSTRES

BANANA BREAD \$6

A warm slice of banana bread with a scoop of vanilla ice cream and sprinkled with coconut shavings.

TRES LECHES \$6

Need description

BIZCOCHO DOMINICANO \$5

Dominican Cake

FLAN \$5

Custard

HELADO \$3

Varying ice cream flavors and toppings. Need to determine and list here

VARIANCE APPLICATION RESPONSES: 115 GREEN STREET, SYRACUSE, NY 13203

Standards of Proof:

a. Reasonable Return:

The tables below detail the investment already made and planned investments to render the space useable for mixed use with restaurant on first and second floor.

INVESTMENTS MADE		
Item	Investment	Notes
Building Purchase	\$50,000.00	Down Payment
Mortgage & Interest	\$ 6,536.67	Payments made to date
Architectural Design & Planning	\$11,157.50	Current and future layout; including SLPB COA work
Property Inspection	\$ 675.00	
Certificate of Inspection	\$ 65.00	Walk-through to determine what wasn't up to Building, Fire, and Electrical Code
Total	\$68,434.17	

PLANNED INVESTMENT	
Item/Description	One-time Budget
Other (Security Deposits, Misc, Computer S/W & Equip)	\$ 9,710
<i>Computer Equipment</i>	<i>\$ 3,050</i>
Monitor(s)	\$ 150
Security Camera System	\$ 400
Computers	\$ 500
POS System	\$ 2,000
<i>Computer Software</i>	<i>\$ 400</i>
Quickbooks Pro 2017	\$ 300
Logo Design software	\$ 50
Floorplan & landscape software	\$ 50
<i>Security Deposits</i>	<i>\$ 700</i>
Utilities (security deposit)	\$ 500
Internet & Phone (security deposit)	\$ 200
<i>Miscellaneous</i>	<i>\$ 5,560</i>

Landscaping/Lawn Care	\$ 500
Building signage	\$ 2,000
Wall art	\$ 2,500
Business cards	\$ 60
Staff shirts	\$ 500
Construction, remodeling, and design costs	\$ 79,619
Exhaust Fan/ Hood & Ansul System	\$ 16,450
Exterior Painting	\$ 9,400
Bar installation (interior)	\$ 4,600
Exterior Doors	\$ 1,600
Plumbing	\$ 10,450
Electrical work	\$ 8,100
Fire & Safety	\$ 6,019
Stair Repair	\$ 8,000
General Contracting	\$ 15,000
FF&E	\$ 109,667
<i>Equipment & Fixtures</i>	<i>\$ 100,000</i>
Kitchen Equipment	\$ 80,000
Bar Equipment	\$ 15,000
Fixtures	\$ 5,000
<i>Furniture</i>	<i>\$ 9,667</i>
Table top	\$ 4,944
Table base	\$ 668
Chairs	\$ 1,786
Freight & Tax	\$ 1,404
Bar stools	\$ 866
Business Licenses & Permits & Professional Fees	\$ 18,751
<i>Business Licenses & Permits</i>	<i>\$ 6,151</i>
Signage permit	\$ 125
NYS Certificate of Authority for sales tax (no fee)	\$ -
Building Permit (plan review, base filing fee, permit fee, certificate fee)	\$ 1,000
Liquor license (includes seasonal)	\$ 3,968
Liquor license filing fee (includes seasonal)	\$ 220
Certificate of Use license	\$ 500
Health Department Food Establishment Permit	\$ 273
Certificate of Appropriateness (no fee)	\$ -
Certificate of Inspection	\$ 65
<i>Professional Services - Legal, Accounting</i>	<i>\$ 12,600</i>

Logo design (done by LPC member)	\$ -
Architect	\$ 8,600
Accountant	\$ 1,000
Other Design Services	\$ 2,000
Attorney	\$ 1,000
Advertising/Promotion/Web Site	\$ 5,000
Social Media	\$ 100
Print Ads	\$ 2,000
Website	\$ 500
Postage	\$ 500
Printing	\$ 1,900
Inventory & Supplies	\$ 30,000
<i>Starting Inventory of Goods & Supplies</i>	\$ 20,000
<i>Kitchen & Waitstaff Supplies</i>	\$ 10,000
Total One-Time Budget	\$ 252,747

Investments planned for the business are currently budgeted at \$252,747. Of that amount, approximately \$82,119 will be for the build-out and immediate maintenance of the building with an additional \$109,667 being invested for kitchen equipment, furniture, and fixtures. This does not include the additional \$124, 381 left to pay on the mortgage and interest.

Expected Income and expenses:

2019 projections as a restaurant show potential gross revenue of \$1,382,872 with total expenses amounting to \$1,148,326. This will allow the restaurant to cover its expenses, recoup its investments, and have a successful business in the City of Syracuse bringing jobs and income to the area. However, in order to reach these numbers, the second floor must be permitted for mixed use with restaurant in order to provide for that additional private dining seating. The investment for the kitchen equipment and proposed minor layout changes will allow for the restaurant to adhere to Onondaga County Department of Health food safety regulations. It will also allow for the proper running and functionality of a restaurant.

The current owner would have hardship if not able to operate as a proper restaurant.

b. Unique Circumstances:

115 Green Street is a unique space and very different to other buildings in the very same neighborhood in that it is a residential building previously approved and developed for commercial use of restaurant and office space.

There are several bathrooms outfitted in the space. Neither of which have showers or tubs to allow for what the space is zoned as for residential. There are no proper kitchens and based on the layout, extensive work would be required to convert back to a residential building. With market rent being low in the neighborhood, the owner would struggle to get a reasonable return on investment.

c. Essential Character of the Locality:

The proposed use of restaurant for the property at 115 Green Street, Syracuse, NY will not alter the essential character of the existing neighborhood for the following reasons;

1. The first floor of this property had already been granted a use variance for a mixed-use with restaurant in 2012.
2. The previous owners of this property, who were previously granted the use variance, also own a restaurant within the neighborhood across the street from 115 Green Street.
3. The current owner is looking to open a full service, dine-in Latin American and Latin Caribbean restaurant which fits into the fabric of existing businesses – Laci’s Tapas Bar, Thanos Import Market, Syracuse Soapworks, and Hairanoia.
4. The restaurant will have a small 3-seat bar which indicates the owner is not looking to open a bar/tavern which would potentially bring an unruly atmosphere to the area.
5. 115 Green Street is a locally designated historical property. Having received approval from the Syracuse Landmark Preservation Board, the owner is showing willingness to preserve the integrity of the historic building.
6. The current owner attended a pre-pre-development meeting with the City of Syracuse Departments where Owen Kerney from Planning “stated that the idea of sharing parking lots with adjacent businesses was a good one, if it was possible. *Owen also mentioned that this project is consistent with the direction of the draft of the new zoning ordinance, which provides residential properties the opportunity to have business use.* He applauded the developer’s project for being one of those projects”. (Please see attached meeting notes.)
7. As mentioned in the immediately preceding point, the current owner has received support and permission from neighboring businesses (Laci’s Tapas Bar and Hairanoia) to utilize their respective parking lots as noted in the Variance Application.
8. The current owner first started meeting with the City of Syracuse in August 2017 to learn specifics of the property PRIOR to its purchase. Since that initial meeting, communications have continued and the owner has acquired knowledge related to the City’s expectations and laws and has openly and continually shared plans intended for the space.

d. Not self-created:

Given explanations in Section C of this response, the building had already been granted a use variance for restaurant and this was the primary reason the current owner purchased the building given the use would continue. The building already had a layout that would support that use on both the first and second floors.

The space on the first floor provides minimal seating, the owner is seeking to extend use to the second floor for mixed use; restaurant (for private dining), offices, and storage with the layout staying as it is on that floor.

If the City of Syracuse does not grant the Use Modification, the current owner will not be able to support the investment already made for the following reasons;

1. The property would have to undergo extensive structural changes to support permitted use as a residence.
2. The City of Syracuse allowed for the current floor plans to be modified by previous owners and this could be in part due to the fact that the building sat vacant for approximately thirty years and did not want it to further deteriorate and adversely affect the neighborhood or safety of the public.

**A RESOLUTION
APPROVING
A CERTIFICATE OF APPROPRIATENESS
115 GREEN STREET
SYRACUSE, NEW YORK 13203**

We, the duly appointed members of the Landmark Preservation Board of the City of Syracuse, do this 17th day of May, 2018, adopt the following resolution:

WHEREAS, the applicant, Clara Cedeno, requested a Certificate of Appropriateness pursuant to Part C, Section VII of the Zoning Rules and Regulations of the City of Syracuse, for 115 Green Street, which is a local Protected Site; and

WHEREAS, at the May 17, 2018, Landmark Preservation Board meeting, held at 8:30 a.m., in the Common Council Chambers, City Hall, Syracuse, New York, the Board discussed the application; and

WHEREAS, the proposal was reviewed and discussed; and

WHEREAS, the subject application and all submittals have been studied by the Landmark Preservation Board; and

WHEREAS, the Landmark Preservation Board noted in its review of the application:

- I. Scope of Work:** In accordance with the attached architectural drawings (Daniel Manning-Architect PLLC, dated 5/16/18):
- 1) South façade: Install new painted wood balustrade on front porch with simple, square wood balusters. Sign for business incorporated into section of balustrade left of front stairs, framed by top and bottom rails.
 - 2) West façade: Install new door with short flight of wood steps at current window opening under second-story balcony. Remove existing doorway (modern) along rear wing section, install clapboard siding over opening to match existing. Install interior exhaust system with fan located on roof slope of rear wing.
 - 3) North façade: Install intake louver for exhaust system in upper sash of gable-end window.
 - 4) New painting scheme. Main body: Behr "Ovation" (MQ9-59); trim: "No More Drama" (P140-7); and doors and trim: "New House White" (RD-W10)
 - 5) Landscape: Install black, metal, 4'-high fence along inside edge of sidewalk and along eastern property line to corner of building. Install gate at front walk. Plant boxwood hedge along sidewalk between fence and sidewalk.

WHEREAS, in review of the application in accordance with the Secretary of the Interior's Standards the Landmark Preservation Board FINDS:

II. Analysis of Proposal:

The US Secretary of the Interior Standards for Rehabilitation state the following:

Standard #2 - The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

WHEREAS, due consideration has been given to the appropriateness, architectural merit, character, and necessity of the proposal; and

WHEREAS, the alterations to the property as described in the scope of work above do not detract from the historic appearance or character of the property or surrounding historic district.

NOW BE IT RESOLVED that we, the duly appointed members of the Landmark Preservation Board of the City of Syracuse, do this 17th day of May, 2018, **APPROVE** the application of Clara Cedeno for a Certificate of Appropriateness for 115 Green Street pursuant to Part C, Section VII of the Zoning Rules and Regulations of the City of Syracuse.

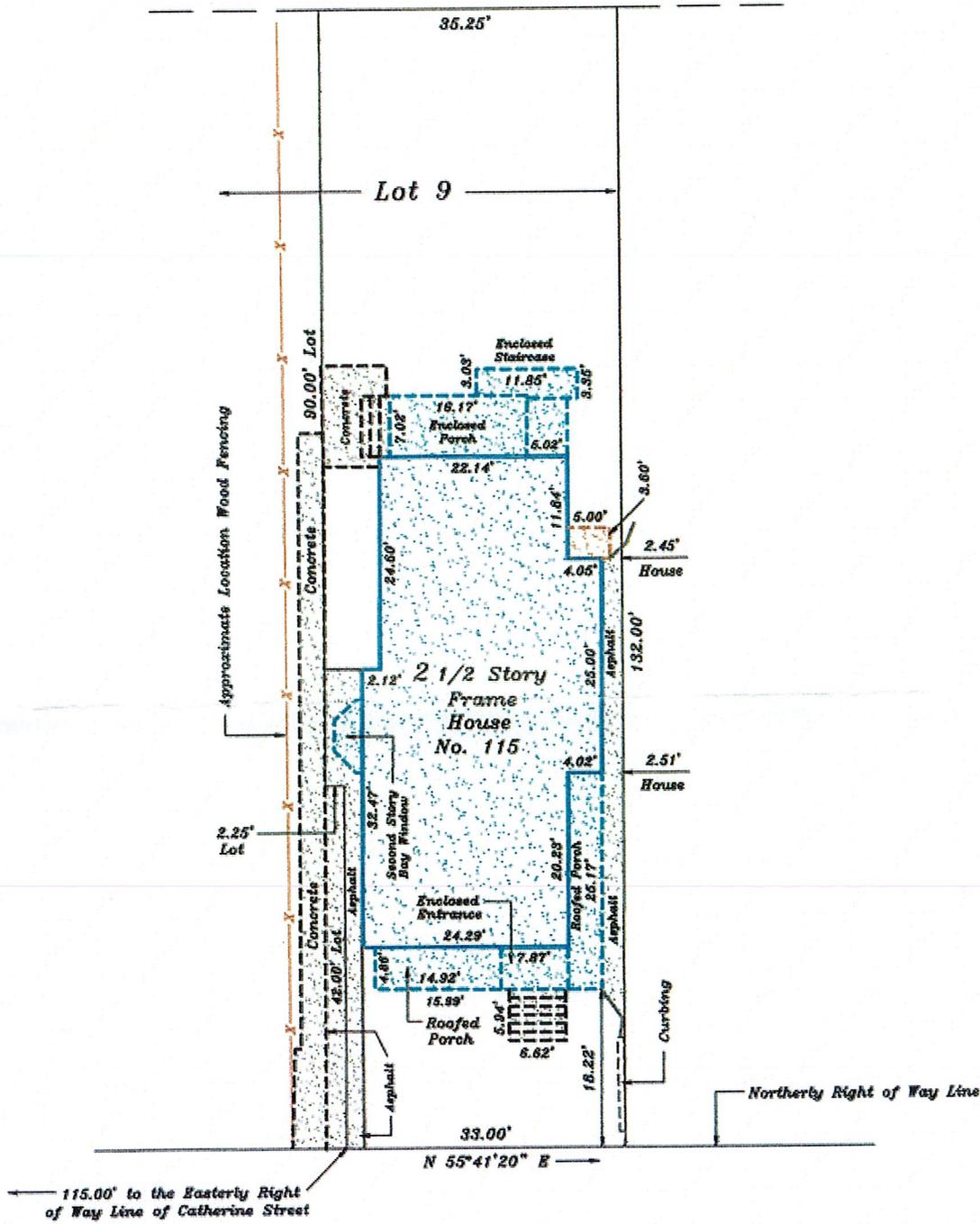
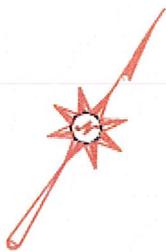
BE IT FURTHER RESOLVED it is unlawful to deviate from the plans including any modification required as a condition of the issuance of this certificate unless and until all amended certificates shall be applied for and used.

This Certificate of Appropriateness is valid only for the specific work cited and that the approval does not relieve the applicant from compliance with other regulatory, licensing, or certification provisions applicable there by the properly constituted federal, state, county, or city authorities including the issuance of a permit by the City of Syracuse Division of Code Enforcement.

BE IT FURTHER RESOLVED, that any determination of the Landmark Preservation Board which either denies a Certificate of Appropriateness or which authorizes the issuance of a Certificate of Appropriateness subject to conditions, may be appealed within ten (10) days of the receipt of such determination by the applicant to the City Planning Commission.



Robert M. Haley, Vice Chairman
Syracuse Landmark Preservation Board
Date of Issuance: May 17, 2018



Green Street

(66.00' Wide)

<p style="text-align: center;">Turning Point Land Surveying 205 Longmeadow Drive, Syracuse, New York 13205 Phone (315) 492-4121</p>	<p style="text-align: center;">Location survey on Part of Lot #9, Block #162, Syracuse.</p>
<p style="text-align: center;">I hereby certify that this map was made from an actual survey and same is correct.</p>	<p style="text-align: center;">Known as No. 115 Green Street, City of Syracuse, County of Onondaga and State of New York.</p>

PROJECT:

RENOVATIONS TO:

LA PATRIA CAFÉ

115 GREEN STREET SYRACUSE, NY
13203

PROJECT TEAM:

OWNER:

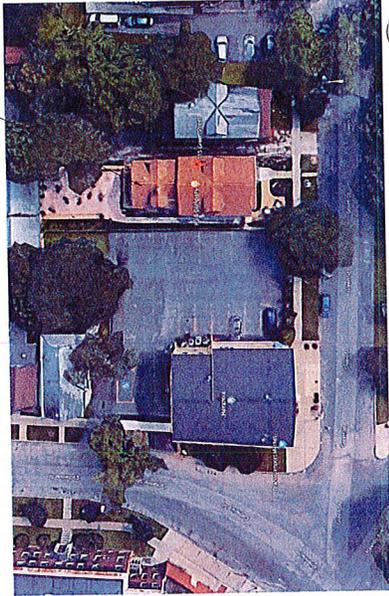
CLARA CEDEÑO
721 NORTH CLINTON STREET
SYRACUSE, NY 13204

ARCHITECT:

DANIEL MANNING-ARCHITECT PLLC
The Syracuse Business Center
225 Wilkinson Street - Suite 106 - Syracuse, NY 13204
www.danielmanning-architect.com
315.424.0141



LOCATION MAP:



Sheet Number	Sheet Name	Sheet Issue Date
G1.2	GENERAL NOTES	07/05/18
G1.3	GENERAL NOTES	07/05/18
D-1	DEMOLITION	07/05/18
A-0	FOUNDATION PLAN AND NOTES	07/05/18
A-1	FIRST FLOOR PLAN	07/05/18
A-2	SECOND FLOOR PLAN	07/05/18
A-3	ATTIC FLOOR ELEVATIONS	07/05/18
A-4	FLOOR ELEVATIONS	07/05/18
A-5	ELEVATIONS	07/05/18
A-6	ELEVATIONS	07/05/18
A-7	REFLECTED CEILING PLANS	07/05/18
A-8	EXISTING SURVEY (FOR INFO ONLY)	07/05/18
A-9	DOOR SCHEDULE	07/05/18

DRAWING LIST

PROJECT: LA PATRIA CAFÉ RENOVATIONS TO:
115 GREEN STREET SYRACUSE, NY 13203

ARCHITECT: DANIEL MANNING-ARCHITECT PLLC
www.danielmanning-architect.com
225 WILKINSON STREET SUITE 106 SYRACUSE, NY 13204
315.424.0141

DRAWING ISSUE LOG:

SYRACUSE LANDMARK PRESERVATION BOARD	05/17/18
PERMIT DRAWINGS	07/05/18
PERMIT DRAWINGS (REVISED SITE PLAN)	07/26/18

PROJECT NORTH

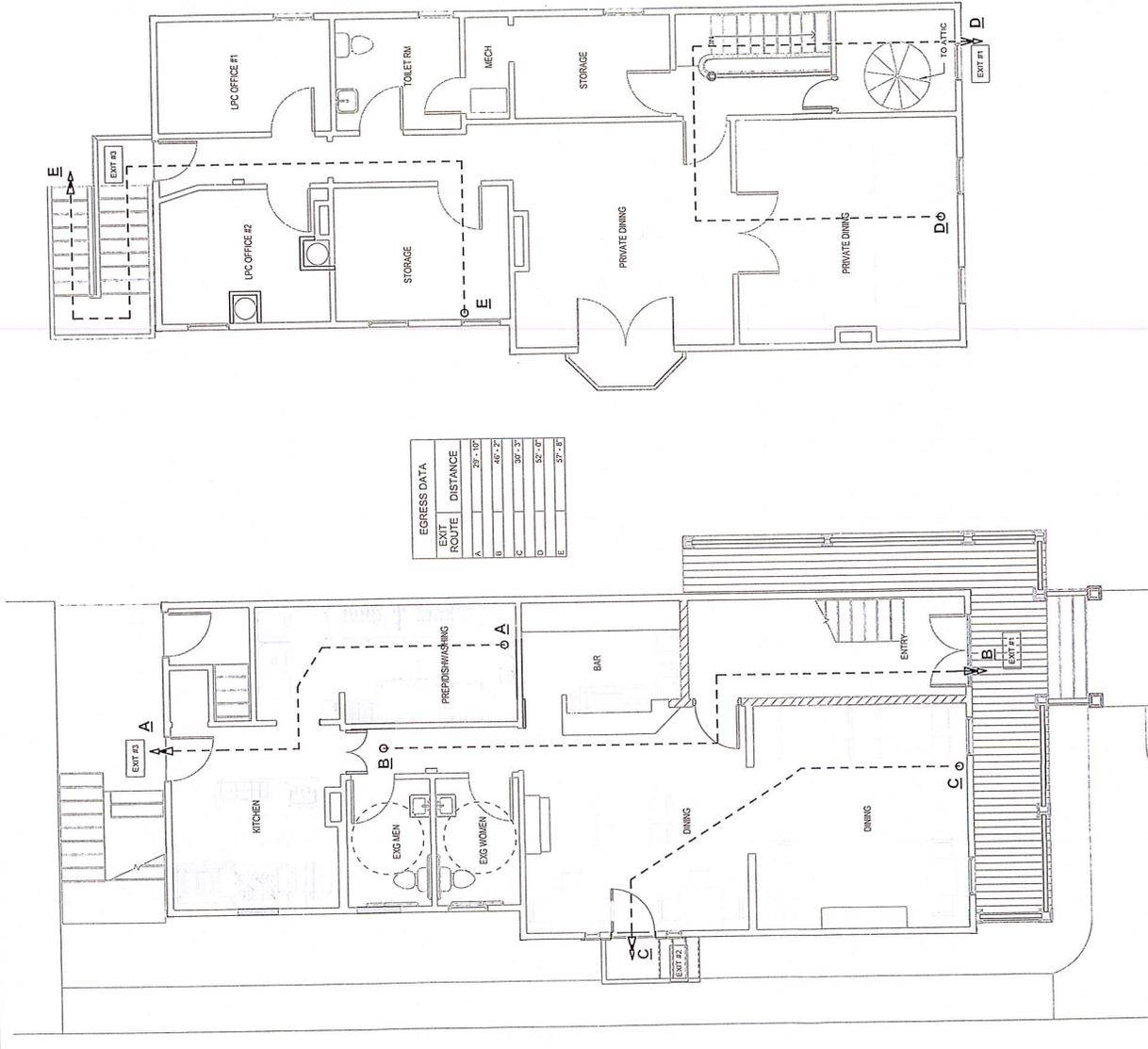
Revision	No.	DATE
	1	07/26/2018

DATE	SCALE
07/05/18	1/8"=1'-0"

DRAWING DESCRIPTION: COVER SHEET

SHEET NUMBER

61.1



EGRESS DATA		
EXIT ROUTE	I	DISTANCE
A	39'-7"	10'
B	46'-2"	10'
C	30'-3"	10'
D	32'-0"	10'
E	57'-8"	10'

1 FIRST FLOOR EGRESS PLAN
SCALE: 1/4" = 1'-0"

2 SECOND FLOOR EGRESS PLAN
SCALE: 1/4" = 1'-0"

PERFORMANCE COMPLIANCE SUMMARY

PROJECT: LA PATRIA, 115 GREEN STREET

DATE: 03/23/2023

TYPE OF PROJECT: COMMERCIAL

TYPE OF OCCUPANCY: RESTAURANT

TYPE OF BUILDING: 2-3 STORY

TYPE OF STRUCTURE: CONCRETE

TYPE OF FOUNDATION: CONCRETE

TYPE OF EXTERIOR WALLS: CONCRETE

TYPE OF EXTERIOR FLOORING: POLISHED CONCRETE

TYPE OF EXTERIOR FINISHES: POLISHED CONCRETE

TYPE OF EXTERIOR LIGHTING: LED

TYPE OF EXTERIOR VENTILATION: MECHANICAL

TYPE OF EXTERIOR CLIMATE CONTROL: MECHANICAL

TYPE OF EXTERIOR SECURITY: NONE

TYPE OF EXTERIOR ACCESSIBILITY: NONE

TYPE OF EXTERIOR SAFETY: NONE

TYPE OF EXTERIOR MAINTENANCE: NONE

TYPE OF EXTERIOR UTILITIES: NONE

TYPE OF EXTERIOR SIGNAGE: NONE

TYPE OF EXTERIOR LANDSCAPING: NONE

TYPE OF EXTERIOR FURNITURE: NONE

TYPE OF EXTERIOR EQUIPMENT: NONE

TYPE OF EXTERIOR STORAGE: NONE

TYPE OF EXTERIOR TRASH: NONE

TYPE OF EXTERIOR REPAIRS: NONE

TYPE OF EXTERIOR ALTERATIONS: NONE

TYPE OF EXTERIOR ADDITIONS: NONE

TYPE OF EXTERIOR REMOVALS: NONE

TYPE OF EXTERIOR RECONSTRUCTION: NONE

TYPE OF EXTERIOR RENOVATION: NONE

TYPE OF EXTERIOR RESTORATION: NONE

TYPE OF EXTERIOR PRESERVATION: NONE

TYPE OF EXTERIOR PROTECTION: NONE

TYPE OF EXTERIOR MONITORING: NONE

TYPE OF EXTERIOR RECORDING: NONE

TYPE OF EXTERIOR REPORTING: NONE

TYPE OF EXTERIOR EVALUATION: NONE

TYPE OF EXTERIOR VERIFICATION: NONE

TYPE OF EXTERIOR VALIDATION: NONE

TYPE OF EXTERIOR CONFIRMATION: NONE

TYPE OF EXTERIOR CORRECTION: NONE

TYPE OF EXTERIOR PREVENTION: NONE

TYPE OF EXTERIOR MITIGATION: NONE

TYPE OF EXTERIOR AVOIDANCE: NONE

TYPE OF EXTERIOR MINIMIZATION: NONE

TYPE OF EXTERIOR REDUCTION: NONE

TYPE OF EXTERIOR ELIMINATION: NONE

TYPE OF EXTERIOR TRANSFER: NONE

TYPE OF EXTERIOR ALLOCATION: NONE

TYPE OF EXTERIOR REALLOCATION: NONE

TYPE OF EXTERIOR RECONSTRUCTION: NONE

TYPE OF EXTERIOR RENOVATION: NONE

TYPE OF EXTERIOR RESTORATION: NONE

TYPE OF EXTERIOR PRESERVATION: NONE

TYPE OF EXTERIOR PROTECTION: NONE

TYPE OF EXTERIOR MONITORING: NONE

TYPE OF EXTERIOR RECORDING: NONE

TYPE OF EXTERIOR REPORTING: NONE

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TYPE OF EXTERIOR CORRECTION: NONE

TYPE OF EXTERIOR PREVENTION: NONE

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TYPE OF EXTERIOR TRANSFER: NONE

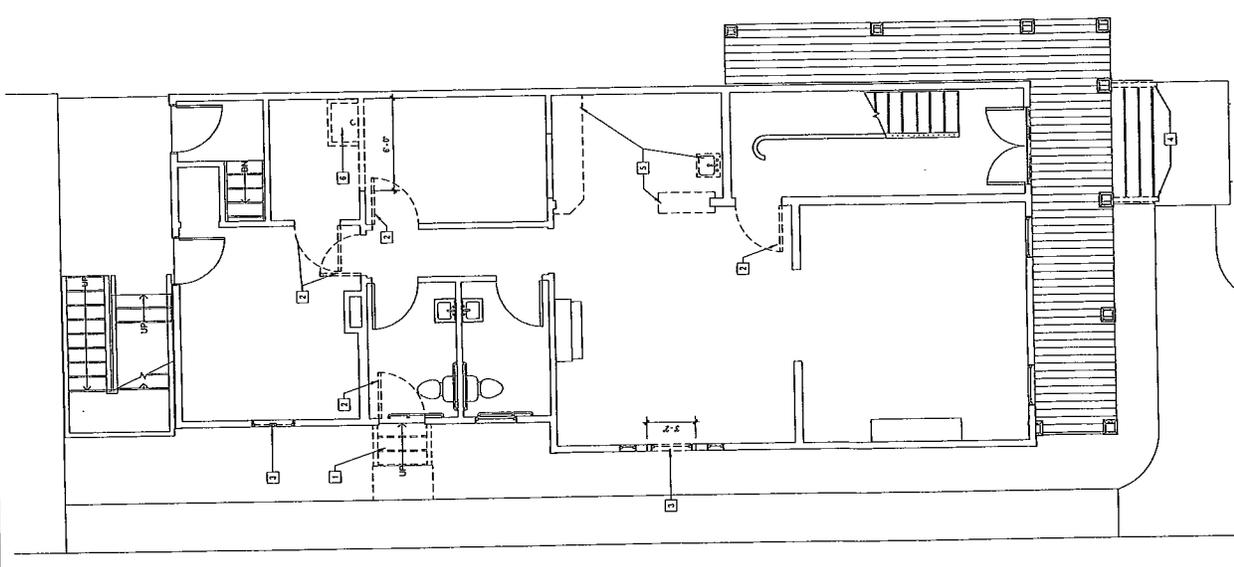
TYPE OF EXTERIOR ALLOCATION: NONE

TYPE OF EXTERIOR REALLOCATION: NONE

Table 1001.7 Summary Sheet - Building Code

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EXISTING FIRE ALARM AND AUTOMATIC SMOKE ALARMS TO REMAIN



KEYED DEMOLITION NOTES

1. EXISTING STAIRS AND WALLING TO BE DEMOLISHED
2. EXISTING DOOR TO BE DEMOLISHED
3. EXISTING WINDOOR TO BE DEMOLISHED
4. EXISTING EXTERIOR RAILINGS TO BE REMOVED
5. EXISTING COUNTER TOP AND SINK TO BE DEMOLISHED
6. EXISTING SINK TO BE REMOVED

PROJECT: RENOVATIONS TO:
LA PATRIA CAFE
 115 GREEN STREET SYRACUSE, NY 13203

ARCHITECT: DANIEL MANNING-ARCHITECT PLLC
 225 W. Genesee Street, Syracuse, NY 13204
 315.422.6141
 www.danmanning-architect.com

PROJECT NORTH



Revision	
No.	Date

DATE	SHEET	SCALE
08/18/11	14	1/4" = 1'-0"
DRAWN BY	JOB NO.	1800
A.M.R.		

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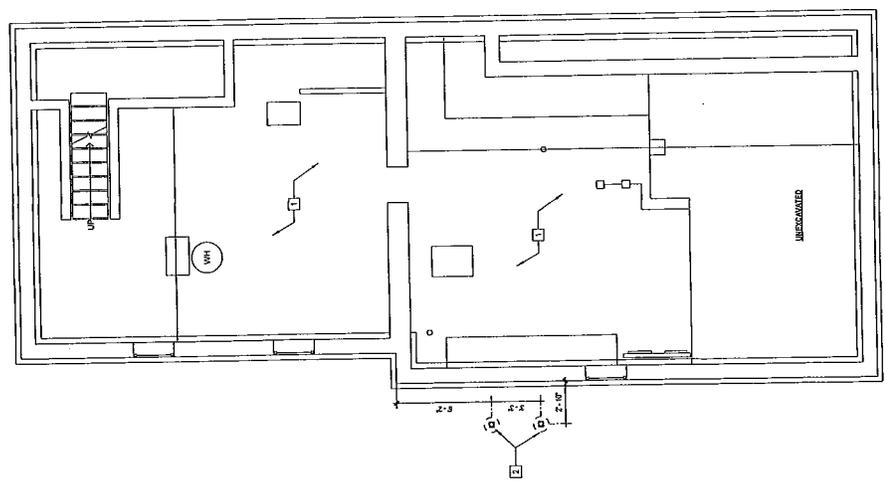
SHEET NUMBER

D-1

1. FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

- FOUNDATION PLAN SHEET NOTES
- 1 NO WORK
 - 2 12" DIAMETER CONCRETE PILES AT WEB

EXISTING FIRE ALARM AND AUTOMATIC SMOKE ALARMS TO REMAIN



1.1 FOUNDATION PLAN
SCALE 1/4" = 1'-0"

PROJECT:
 RENOVATIONS TO:
LA PATRIA CAFE
 116 GREEN STREET SYRACUSE, NY 13203

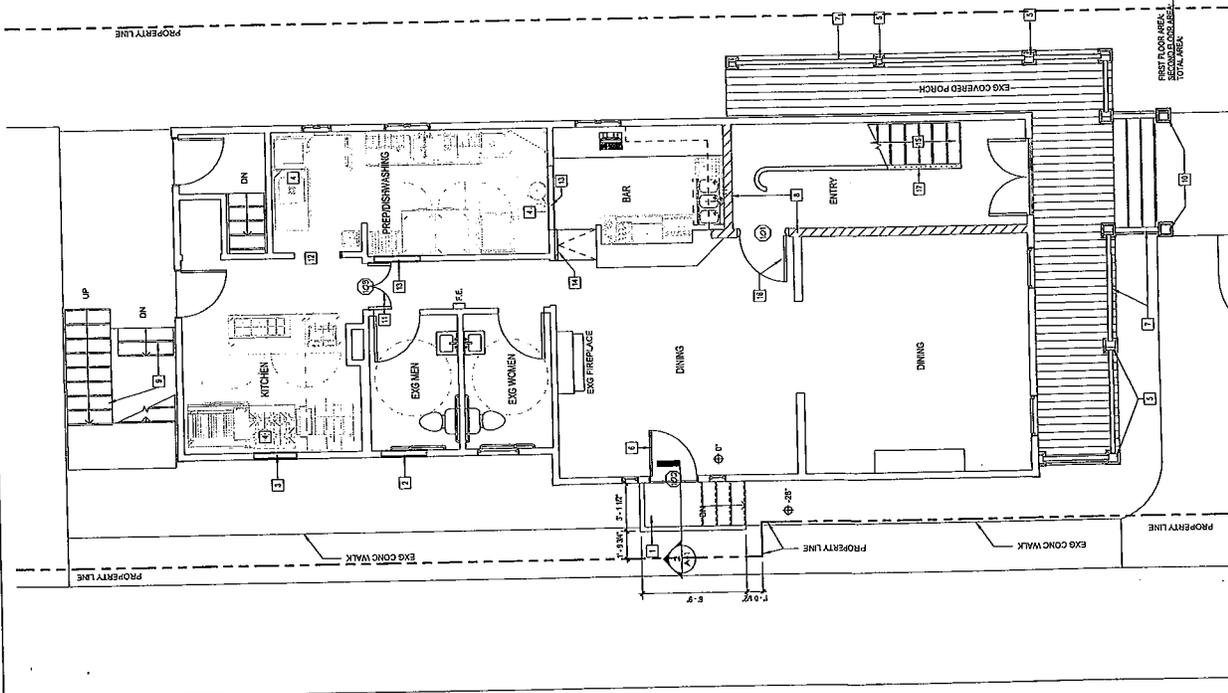
ARCHITECT:
DANIEL HANNING-ARCHITECT PLLC
 The Syracuse Business Center
 255 Wisconsin Street - Suite 100 - Syracuse, NY 13204
 hanninghanning-architect.com
 315.424.0141

PROJECT NORTH

Revision		Date
No.		
1		

DRAWN BY: JCS No. 1
 CHECKED BY: JCS No. 1
 DATE: 10/20/2011
 PROJECT: 116 GREEN STREET SYRACUSE, NY 13203
 DRAWING DESCRIPTION:
FOUNDATION PLAN AND NOTES

SHEET NUMBER
A-0

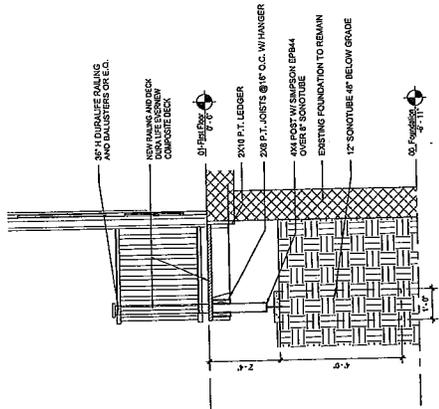


1. FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

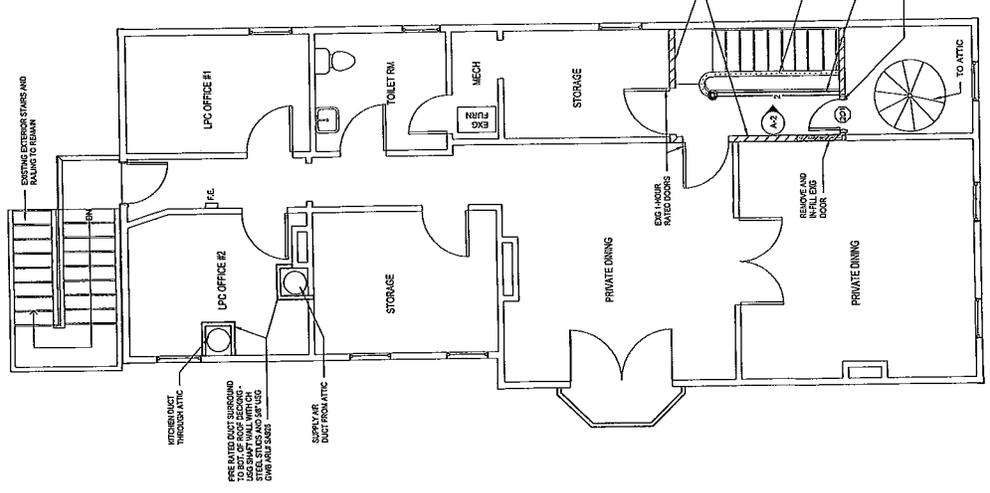
FLOOR PLAN SHEET NOTES

1. NEW INTERIOR FINISHES SHALL BE AS SHOWN ON THESE DRAWINGS.
2. ALL NEW INTERIOR WALLS SHALL BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION. EXISTING WALLS SHALL BE REFINISHED TO MATCH EXISTING CEILING AND FLOORING.
3. EXISTING WINDOW AND DOOR FRAMES TO REMAIN UNLESS OTHERWISE NOTED. NEW WINDOW AND DOOR FRAMES TO BE INSTALLED BY GENERAL CONTRACTOR TO MATCH EXISTING FINISHES.
4. EXISTING PARTITION WALLS TO REMAIN UNLESS OTHERWISE NOTED. NEW PARTITION WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.
5. EXISTING EXTERIOR WALLS TO REMAIN UNLESS OTHERWISE NOTED. NEW EXTERIOR WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.
6. EXISTING EXTERIOR DOORS TO REMAIN UNLESS OTHERWISE NOTED. NEW EXTERIOR DOORS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.
7. EXISTING EXTERIOR WINDOWS TO REMAIN UNLESS OTHERWISE NOTED. NEW EXTERIOR WINDOWS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.
8. EXISTING EXTERIOR WALLS TO FOLLOW WALL LINE NOTATION. ALL NEW EXTERIOR WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.
9. EXISTING EXTERIOR WALLS TO FOLLOW WALL LINE NOTATION. ALL NEW EXTERIOR WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.
10. EXISTING EXTERIOR WALLS TO FOLLOW WALL LINE NOTATION. ALL NEW EXTERIOR WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.
11. NEW 2" X 4" STUDS TO BE INSTALLED AS SHOWN.
12. NEW 1/2" GYPSUM BOARD TO BE INSTALLED AS SHOWN.
13. NEW 1" MINERAL WOOL INSULATION TO BE INSTALLED AS SHOWN.
14. NEW 1/2" GYPSUM BOARD TO BE INSTALLED AS SHOWN.
15. EXISTING EXTERIOR WALLS TO FOLLOW WALL LINE NOTATION. ALL NEW EXTERIOR WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.
16. EXISTING EXTERIOR WALLS TO FOLLOW WALL LINE NOTATION. ALL NEW EXTERIOR WALLS TO BE CONSTRUCTED WITH 1/2" GYPSUM BOARD OVER 1" MINERAL WOOL INSULATION.

EXISTING FIRE ALARM AND AUTOMATIC SMOKE ALARMS TO REMAIN

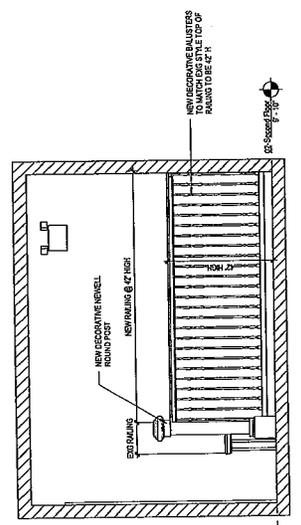


2. DECK ADDITION SECTION
SCALE: 1/2" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING FIRE ALARM AND AUTOMATIC SMOKE ALARMS TO REMAIN



2 RAILINGS ELEVATION
SCALE: 1/2" = 1'-0"

<p>PROJECT: LA PATRIA CAFE RENOVATIONS TO: 115 GREEN STREET SYRACUSE, NY 13203</p>	<p>ARCHITECT: DANIEL MANNING-ARCHITECT PLLC 205 Wacker Drive - Suite 100 - Syracuse, NY 13204 www.danielmanning-architect.com 315.424.8141</p>	<p>PROJECT NORTH</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>DATE</td> <td>SCALE</td> <td>JOB NO.</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td>DRAWN BY</td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td>NO.</td> <td> </td> <td> </td> </tr> <tr> <td>REVISION</td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	DATE	SCALE	JOB NO.				DRAWN BY						NO.			REVISION									<p>DRAWING DESCRIPTION: SECOND FLOOR PLAN SHEET NUMBER: A-2</p>
DATE	SCALE	JOB NO.																										
DRAWN BY																												
NO.																												
REVISION																												

PROJECT: LA PATRIA CAFE RENOVATIONS TO:
 115 GREEN STREET SYRACUSE, NY 13203

ARCHITECT: DANIEL MANNING-ARCHITECT PLLC
 225 WASHINGTON STREET - SUITE 100 - SYRACUSE, NY 13204
 WWW.DANIELMANNING-ARCHITECT.COM
 315.438.8141

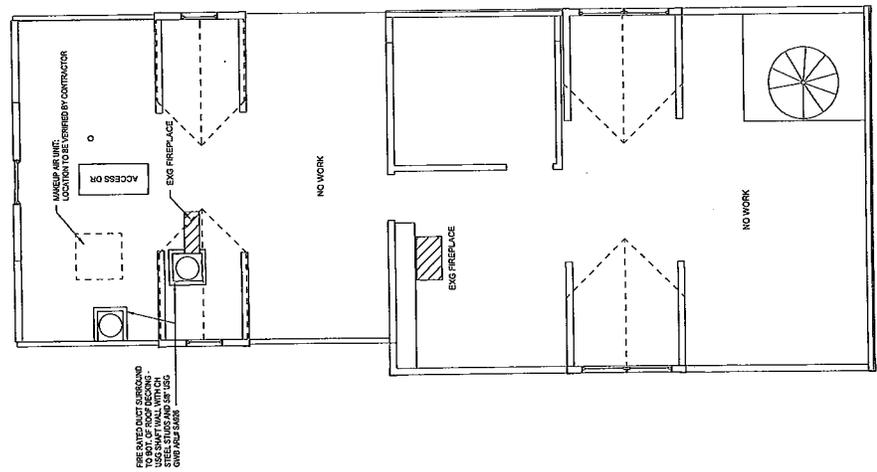
THIS IS A COPY FOR THE ARCHITECT'S USE ONLY. ANY REVISIONS TO THE DRAWING MUST BE MADE BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR THE RESULTS OF ANY TESTS OR ANALYSES PERFORMED BY OTHER PROFESSIONALS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THESE DRAWINGS.

PROJECT NORTH

Revision	No	Date

DATE: 10/15/14
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 CHECKED BY: J.M.
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER: A-3

DRAWING DESCRIPTION:
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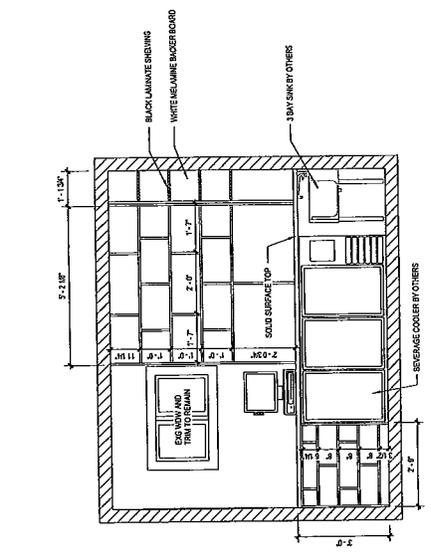


ATTIC PLAN
 SCALE 1/4" = 1'-0"
 NEW FIRE ALARM AND AUTOMATIC SMOKE ALARMS REQUIRED

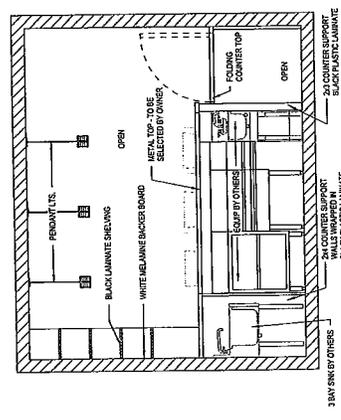
Revision	Date
No.	

DATE	SCALE	1/4"
DRAWN BY	JOB NO.	18-01
AM.F.		

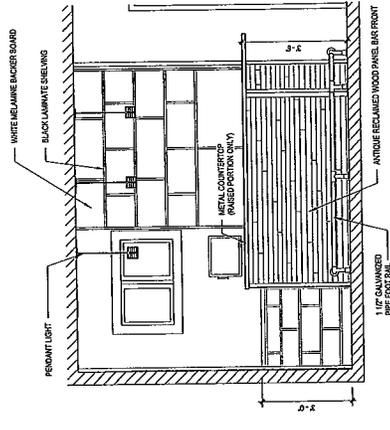
DESCRIPTION
 INTERIOR
 ELEVATIONS



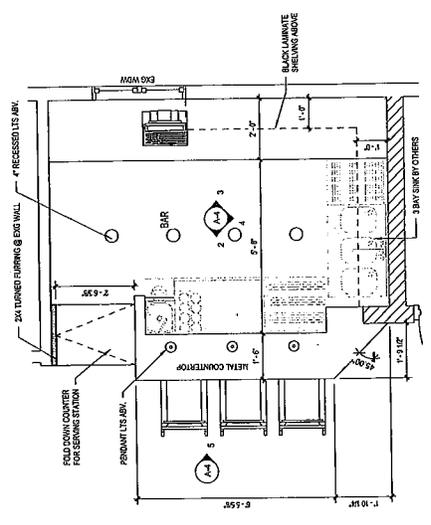
1 BAR ELEVATION B
 SCALE: 1/2" = 1'-0"



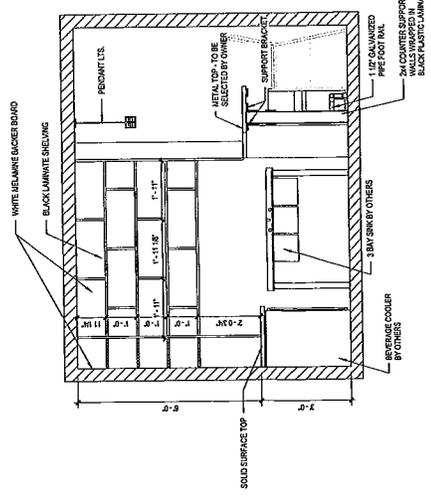
2 BAR ELEVATION A
 SCALE: 1/2" = 1'-0"



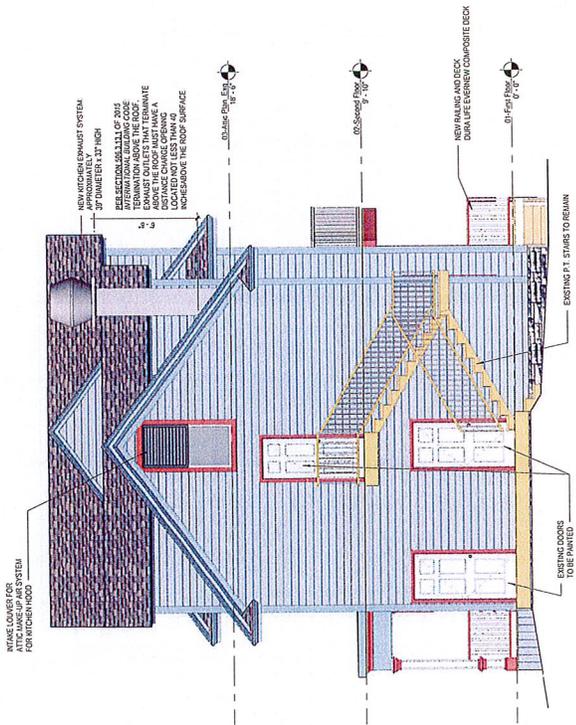
3 BAR ELEVATION FRONT
 SCALE: 1/2" = 1'-0"



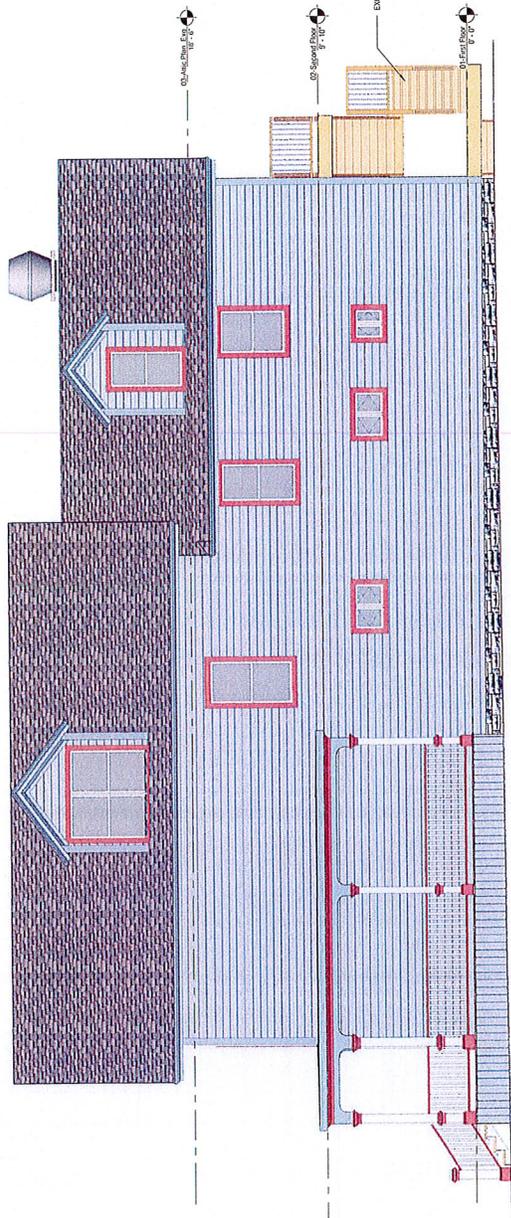
1 FIRST FLOOR PLAN
 SCALE: 1/2" = 1'-0"



4 BAR ELEVATION C
 SCALE: 1/2" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

PAINT COLORS:

- #RD-W10 NEW HOUSE WHITE
- #P-1407 NO MORE DRAMA
- #M09-S9 Ovation

SCALE: 3/16" = 1'-0"

Revision	Date
No. 1	7/26/2018

DATE: 07/26/18
DRAWN BY: A.L.A.
JOB NO.: 18-005

SCALE: As indicated

DRAWING DESCRIPTION: ELEVATIONS

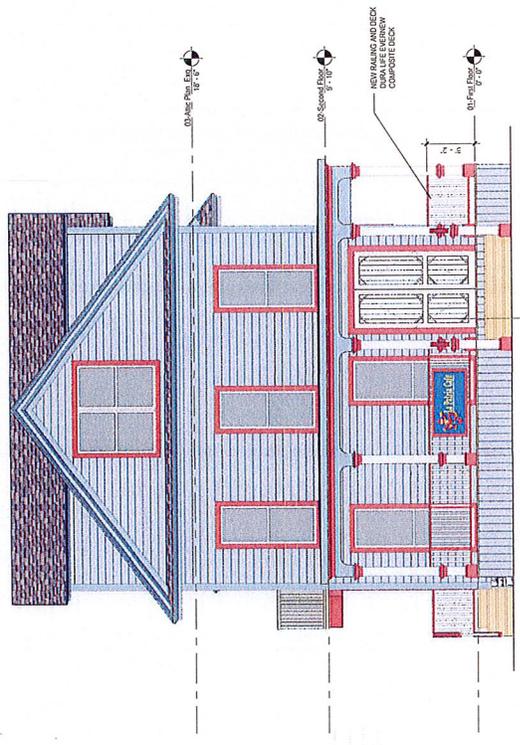
PROJECT NORTH

SHEET NUMBER
A-5

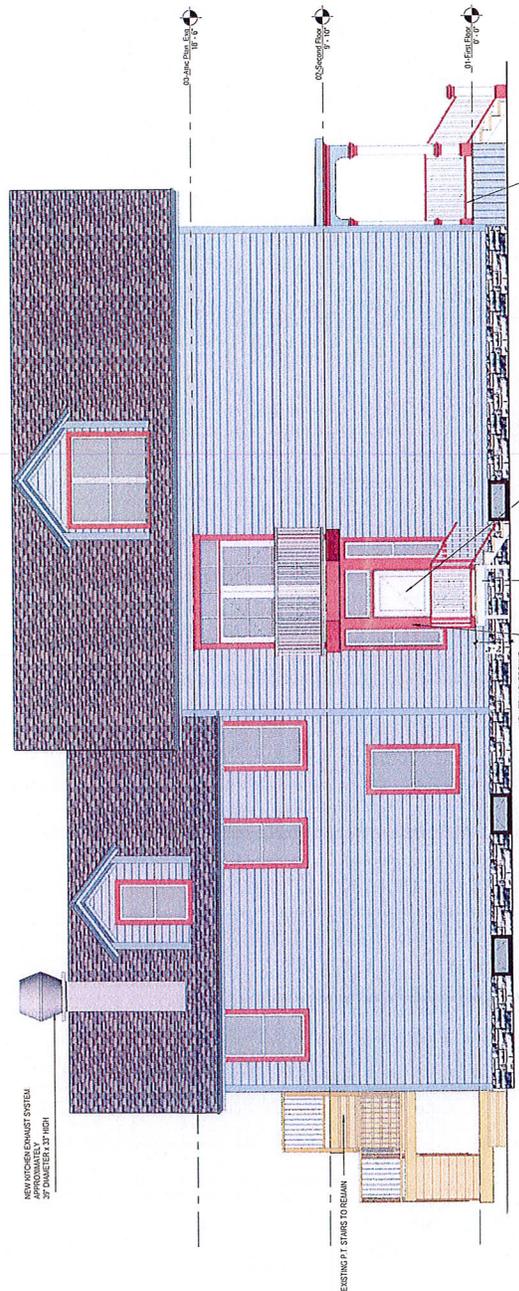
PROJECT: RENOVATIONS TO:
LA PATRIA CAFE
115 GREEN STREET SYRACUSE, NY 13203

ARCHITECT:
DANIEL MANNING-ARCHITECT PLLC
www.danielmanning-architect.com
315.428.0141

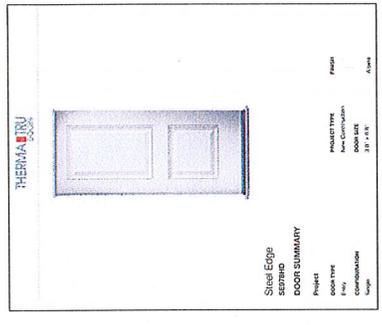
IT IS A CONDITION OF THE PLAN FOR ANY ARCHITECT, ENGINEER, CONTRACTOR OR OTHER PROFESSIONAL TO BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PROJECT AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE PROJECT AND TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"

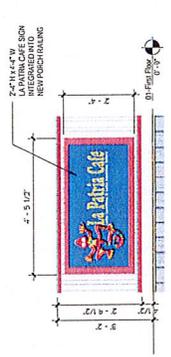


THE THERMAL BREAK SYSTEM ELEVATION OF BUILDING

PAINT COLORS:

- #MOS-59 MARQUISE OVATION
- #RD-W10 NEW HOUSE WHITE

PAINT COLORS:
SCALE: 3/16" = 1'-0"



1 SIGN ELEVATION
SCALE: 1/2" = 1'-0"

PROJECT: RENOVATIONS TO LA PATRIA CAFE
115 GREEN STREET SYRACUSE, NY 13203

ARCHITECT: DANIEL MANNING-ARCHITECT PLLC
115 GREEN STREET SYRACUSE, NY 13203
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PROJECT NORTH

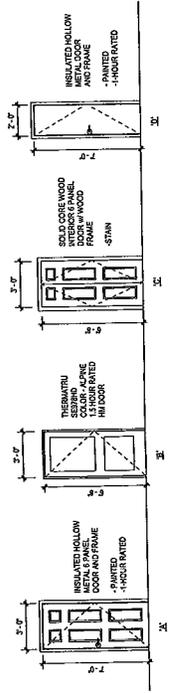
Revision	Date
1	7/26/2018

DATE	SCALE	SCALE
07/26/18	AS SHOWN	AS SHOWN

DRAWN BY: ALM
JOB No.: 18-01
DRAWING DESCRIPTION: ELEVATIONS

SHEET NUMBER: A-6

DOOR SCHEDULE											
DOOR No.	WIDTH	HEIGHT	THK.	DOOR TYPE	DOOR MATERIAL	FINISH	Hardware	RATING	FRAME MATERIAL	FRAME FINISH	COMMENTS
101	5'-0"	7'-0"	1 3/4"	A	H.M.	PAINT	S	1-HR.	H.M.	PAINT	1-HOUR RATED DOOR AT STAIRWELL
102	5'-0"	6'-8"	1 3/8"	B	H.M.	PAINT	S	1 1/2-HR.	H.M.	PAINT	1 1/2-HOUR RATED DOOR AT EXIT
103	5'-0"	6'-8"	2"	C	D	PAINT	S	-	ND	STAIN	
201	2'-0"	7'-0"	1 3/4"	D	H.M.	PAINT	S	1-HR.	H.M.	PAINT	1-HOUR RATED DOOR AT STAIRWELL



1 DOOR SCHEDULE
SCALE: 1/4" = 1'-0"

PROJECT: LA PATRIA CAFE RENOVATIONS TO:
115 GREEN STREET SYRACUSE, NY 13203

ARCHITECT: DANIEL MANNING-ARCHITECT PLLC
225 Westcott Street - Suite 1000 - Syracuse, NY 13204
www.danielmanning-architect.com
315.424.0141

PROJECT NORTH

Revision	Date
1	7/26/2018

DATE	SCALE
7/26/18	1/4" = 1'-0"

DRAWING DESCRIPTION
DOOR SCHEDULE

SHEET NUMBER
A-9



LA PATRIA CAFE EQUIPMENT LAYOUT SYRACUSE, NY

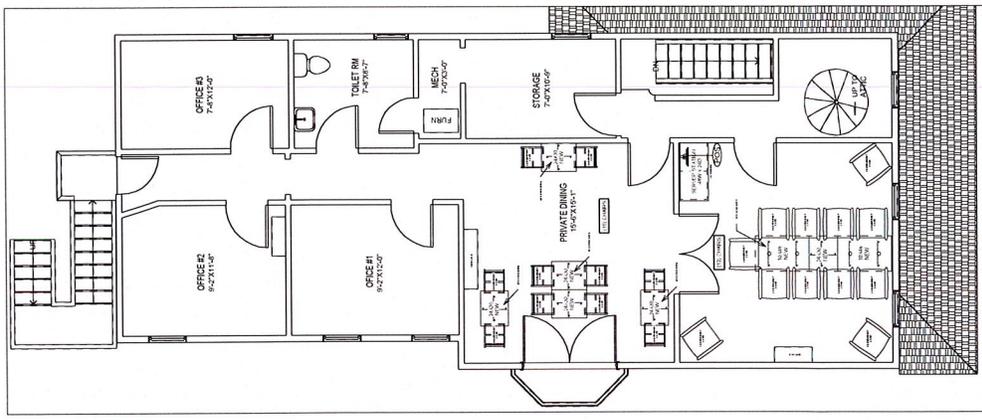
DATE	04/25/18	DRAWN BY	ALN
JOB NO.	18-109.SG	CHECKED BY	SG
DRAWING NO.	SCALE	AS NOTED	
Q-1			

NO.	REVISION	DATE
1.	FINALIZED EQUIP./FURN. PLACEMENT	05/18/18
2.	ADDED BAR EQUIPMENT	08/27/18

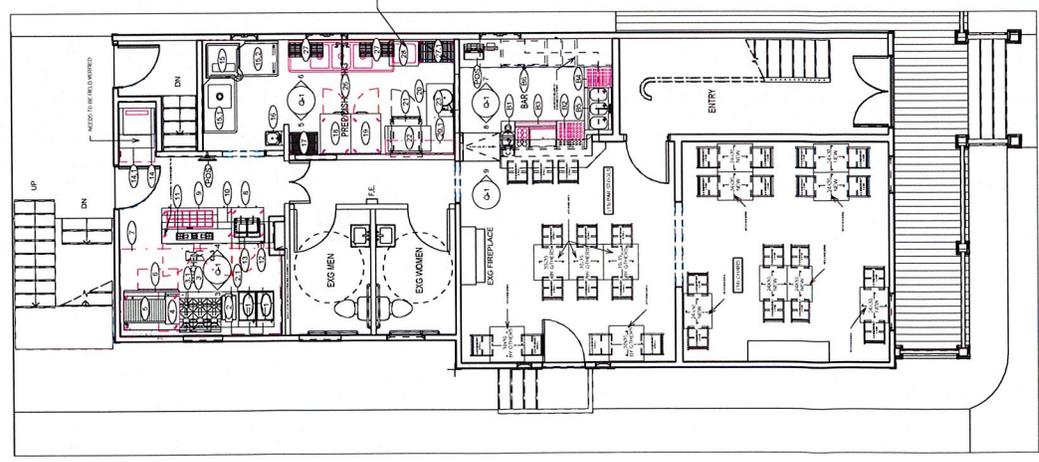
ITEM #	QTY	DESCRIPTION	MANUFACTURER	MODEL	STATUS
1	1	Fryer - Deep Fat, Gas	Rikas	VF35	A
2	1	Griddle	HATCO CORPORATION	GRFF	A
3	1	Table Filler	John Boos	EFT18-3015	A
3.1	1	36" Range - 6 Burners - Standard Oven	Vulcan	XV36-6BN	A
4	1	Gas Griddle	Vulcan	96RB	A
5	1	Blender - Under-Feed, Gas, Counter	40718	40718	A
6	1	Exhaust Hood	Continental Refrigerator	DL483	A
7	1	Walktop Freezer	Continental Refrigerator	SWF77	A
8	1	Sandwich Unit, Refrigerated	Continental Refrigerator	SW604.12	A
9	1	Overshelf, Equipment Mount	Continental Refrigerator	CL-18-96-2	A
10	1	Heat Lamp	HATCO CORPORATION	RC51DDE	A
11	1	Heat Lamp	HATCO CORPORATION	RC51DDE	A
12	1	GRIDDLE DOUBLE-SIDED, ELECTRIC	MALESTIC	MALESTIC	A
13	1	Griddle	MALESTIC	MALESTIC	A
14.1	1	Prody Ice Machine	Scotman Ice	CS22SA_1D	A
15	1	Dishwasher, Corner	GMA	BS30P	A
15.1	1	Dishwash, Straight, 16 gauge	Advance Tabco	C 6, 676, 481-X	A
15.2	1	16 Gauge, Straight, Clean Drainable	Advance Tabco	DT6-570-385-X	A
16	1	Hot Water	BK Resources	BKHS-SD-1410	A
17	1	Shelving, Wire	Metro	1824NK3	A
18	1	Refrigerator, Reach-In	Continental Refrigerator	1R	A
19	1	Freezer, Low Temp, Reach-In	Continental Refrigerator	1FLT	A
20	1	Table, Work, Corner Type	Advance Tabco	KES12-26	A
20.1	2	Roll Station	Advance Tabco	KES12-26	A
21	1	Chicken Rotisserie Oven	Alco-Sham	750-THRD	A
22	1	Kettle, Steam Jacketed	Vollrath	40841	A
23	1	Spare Number	Cleveland Range	KET-1P-T	A
24	1	Spare Number	Existing	Existing	B
25	1	Spare Number	Existing	Existing	B
26	1	Spare Number	Existing	Existing	B
27	4	Shelving, Wire	Metro	1230CSNC	A
27.1	1	Shelving, Wire	Metro	1820NK3	A
28	1	Mop Sink	Advance Tabco	Existing	C
B1	1	Underbar Blender Station	Krowne Metal	KR18-MSBR	A
B2	1	Multiplication	Krowne Metal	KR18-MSBR	A
B3	1	Storage Cabinet	Krowne Metal	KR18-S18	A
B4	1	Underbar Sink	Krowne Metal	KR24-33C*	A
B5	1	Back Bar Cooler	Krowne Metal	INS25R	A
POS	3	POS Stations	TBD	TBD	G

STATUS LEGEND	
A	IN CONTRACT
B	EXISTING
C	EXISTING/ RELOCATE
D	EXISTING/ MODIFY
E	EXISTING/ RELOCATE/ MODIFY
F	BY PRODUCT SUPPLIER/ VENDOR
G	BY OWNER/ OPERATOR
H	SPECIFIED BY ARCH./ INT. DESIGNER
I	SPECIFIED BY ENGINEER
J	PUTURE

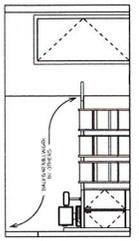
○ Status Legend
1/4" = 1'-0"



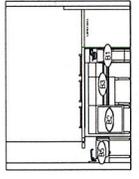
2ND FLOOR EQUIPMENT
1/4" = 1'-0"



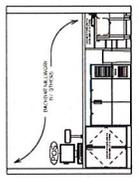
1ST FLOOR EQUIPMENT
1/4" = 1'-0"



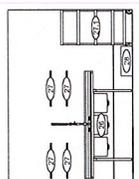
BAR FRONT
1/4" = 1'-0"



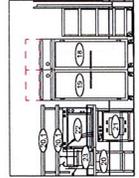
FRONT BAR INTERIOR
1/4" = 1'-0"



BACK BAR
1/4" = 1'-0"



DISHWASHING
1/4" = 1'-0"



PREP LINE
1/4" = 1'-0"

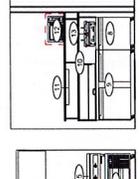
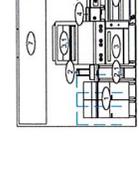
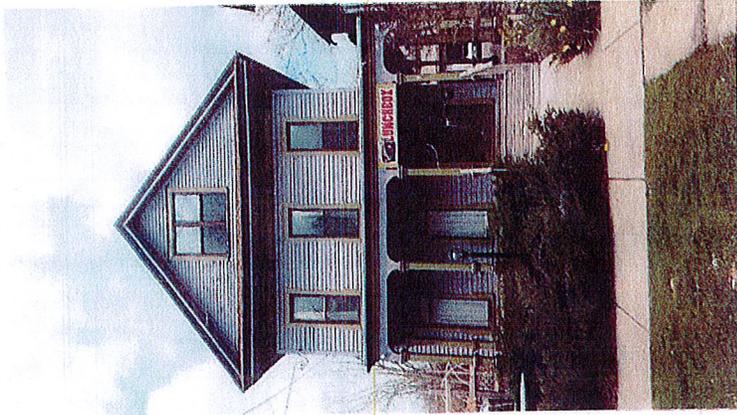


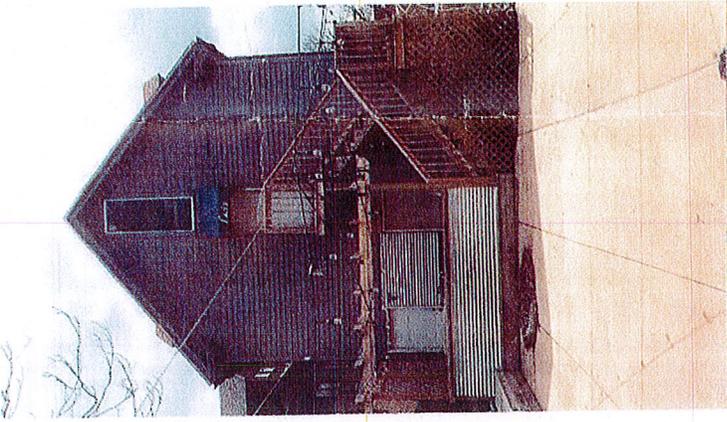
PLATE LINE
1/4" = 1'-0"



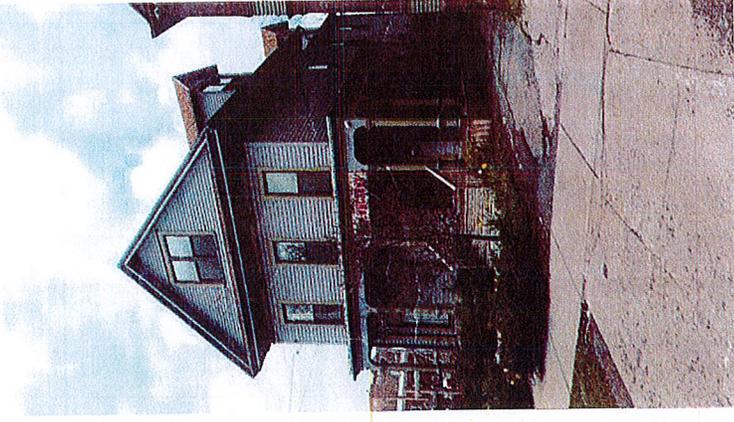
COOK LINE
1/4" = 1'-0"



EXISTING FRONT (SOUTH) ELEVATION



EXISTING REAR (NORTH) ELEVATION



EXISTING SIDE (EAST) ELEVATION



EXISTING SIDE (WEST) ELEVATION

PROJECT:
RENOVATIONS TO:
LA PATRIA CAFE
115 GREEN STREET SYRACUSE, NY 13203

DANIEL MANNING-ARCHITECT PLLC
315 428 0133
115 GREEN STREET SYRACUSE, NY 13203
WWW.DMMANNINGARCHITECT.COM

PROJECT NORTH

DATE: 05/16/18
SCALE: Project # 18-015
DRAWN BY: A.J.K.

SHEET NAME:
EXISTING
PHOTOGRAPHS

SHEET NUMBER
SK-8