

PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V- <u>18-14</u>
Tax map Section: <u>009</u> Block: <u>21</u> Lot: <u>30.1</u> Zoning District: <u>BA</u>	

1. Address of subject property: 1117 Butternut Street

2. Year property was purchased by current owner: 2017

3. Applicant/contact information:

a. Owner(s) (current titleholder):

Name(s): Butternut Crossing LLC

Mailing Address: 1201 East Fayette Street

Zip: 13210 Daytime phone number: 315-472-3820 home phone number: _____

E-mail (alternate contact for additional information request): Diana Jakimoski

b. Contract purchaser(s) , Lessee , or Co-applicant (if applicable)

***note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.**

Name(s): _____

Mailing Address: _____

Zip: _____ Home phone number: _____ Day Phone: _____

E-mail (alternate contact for additional information request): _____

c. Representative: Attorney , Architect , Contractor , Other Holmes King Kallquist & Assoc.

(Only if involved in this application)

Name(s): Michael Malda / Bruce King

Mailing Address: 575 North Salina Street

Zip: 13208 Telephone number: 315-476-8371

4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.): _____

Residential - vacant site; all existing buildings have been demolished.

Proposed use and occupancy of property: _____

Residential - 24 unit apartment building

Current number of onsite (off-street) parking spaces: _____

Proposed number of onsite (off-street) parking spaces: 27 on-site (off street) parking spaces

Days and hours of operation (for any business uses): Not applicable.

Explain in detail what (if any) new additions or construction is proposed on the site: Construction of a new
2 story, 24 unit apartment building. **SEE ATTACHED**

Reason for request:

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that *the standards of proof for a use variance are much more demanding* than for an area variance and that *the burden is on the applicant* to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary. **SEE ATTACHED**

The creation of the new Right of Way that was required by the fire department requires Grassman Avenue to be widened to provide emergency access. To do so, the parcel at 1125 Butternut was purchased and dedicated to the city for the purpose of creating the requested ROW to provide the required width and turning radius for the ladder truck. The dedication of the 1125 as the ROW now makes the Grassman Ave. side of the building a front yard, which requires a 12'-0" setback per the zoning requirements, which we can't provide.

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

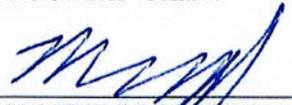
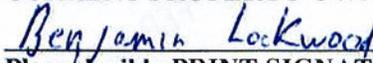
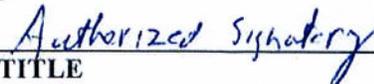
DECLARATION

I understand that false statements made herein are **punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York**. I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application **will make consideration of this application null and void**.

CURRENT PROPERTY OWNER SIGNATURE

As listed on the City of Syracuse Tax Assessment Roll. If not listed as the owner on the current rolls, please include a proof of ownership, for example, a copy of the deed. Attorney's signing on behalf of the owner must include a one page letter describing the legal representative arrangement. Architects, engineers, contractors, tenants, etc. cannot sign on behalf of the property owner. If property owner is a Corporation or an Organization, then the person signing must provide verification they are a member of such, and can sign on the owners' behalf.


CURRENT PROPERTY OWNER SIGNATURE 2/27/18
DATE
 
Please legibly PRINT SIGNATURE NAME and TITLE



HOUSINGVISIONS

Real Plans. Real People. Real Progress.

27 February 2018

Syracuse Board of Zoning Appeals
City Hall Commons, Room 101
201 E. Washington Street, Room 612
Syracuse, NY 13202

Re: **1117 Butternut Street Area Variance**

To Whom It May Concern,

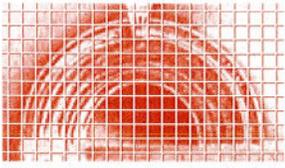
Butternut Crossing, LLC is developing 24 apartment units of affordable rental housing at 1117 Butternut Street, in a single two story structure. The building permit, not including site construction, for this structure has been issued by City of Syracuse.

Of the 24 units, four are fully accessible units, and three are for the hearing and/or vision impaired. Amenities include on-site laundry facilities and a community room for exclusively for the building tenants. Additionally, there is a single first floor office for Housing Visions Property Management. The office will be staffed part-time for Property Management and Maintenance needs. The primary Property Management functions will be located at Housing Visions North Side Office at 116 Hawley Ave. An assigned maintenance staff member will address building repairs, trash collection, and maintenance of the parking lot, sidewalk and lawns. Two of the 27 on-site parking spaces will be assigned to Housing Visions staff.

Please contact me should you have any questions.

Very truly yours,

Diana Jakimoski
Senior Project Manager



HOLMES • KING • KALLQUIST
& Associates, Architects

575 NORTH SALINA STREET
SYRACUSE, NEW YORK 13208

315 / 476-8371
FAX 315 / 476-5420

26 February 2018

Syracuse Board of Zoning Appeals
City Hall Commons, Room 101
201 E. Washington Street, Room 612
Syracuse, NY 13202

Re: **1117 Butternut Street Area Variance
Standards of Proof.**

To Whom It May Concern,

We are seeking an area variance to waive the required 12'-0" front yard setback to 4'-0" as shown on the drawing included with this application. We believe our request will outweigh any burden to the health, safety and welfare that may be suffered by the community, and will in fact, improve the existing conditions.

The Syracuse Fire Department is requiring the creation of a new Right of Way at Grassman Avenue to provide emergency access to the proposed 24 unit apartment building at 1117 Butternut Street.

The improvements include the following:

- Widening Grassman Avenue to provide two lanes for traffic
- Provide a minimum of three feet of turf grass on either side for snow storage.
- Modification to the exiting intersection of Grassman Avenue and Butternut Streets to provide the required turning radius for the fire department's aerial fire truck.
- Construction of a 5'-0" wide concrete sidewalk adjacent to the turf grass strip connecting the Butternut Street sidewalk to the rear driveway of the proposed building.
- Installation of street trees where appropriate, per the recommendations of the city arborist.

CARLTON H. HOLMES, AIA,
LEED AP
PRINCIPAL

BRUCE C. KING, AIA,
NCARB
PRINCIPAL

LEIF G. KALLQUIST, AIA
PRINCIPAL

JAMES F. WILLIAMS, AIA,
LEED AP
SENIOR ASSOCIATE

DEAN A. BIANCAVILLA, AIA,
LEED AP
ASSOCIATE

JULIA HAFFTKA-MARSHALL, AIA
ASSOCIATE

C. JEFFREY TAW, AIA
ASSOCIATE

Grassman Avenue is a non-continuous street that provides vehicular access for several neighboring properties that would otherwise be landlocked. It is an unimproved road, with irregular edges, no sidewalks, and is too narrow to accommodate two lanes of traffic. We believe the modifications listed above would greatly improve the community by providing safer driving and pedestrian conditions, and improve the overall access of emergency vehicles for all properties along Grassman Avenue.

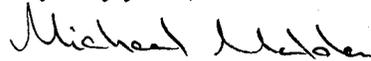
The parcel at 1125 was purchased by Housing Visions and legally dedicated to the City of Syracuse on February 20, 2018, for the purpose of these improvements. This parcel was being used as an illegal parking lot and was a non-conforming site, being too narrow to allow any future construction. The inclusion of this parcel provides

the necessary space for the improvements listed above. However, dedicating the parcel to the city, the former side yard of our proposed building now becomes a front yard. This requires a 12'-0" setback from the property line. We are unable to meet this requirement, as modifying the footprint of the proposed building would affect the approved funding for the construction of the Butternut Crossing project. The funding includes the construction of the 24 unit apartment building at 1117 Butternut, as well as the construction of four, four unit apartment buildings at 808, 1116, 1230, 1234 Butternut, the renovation of an existing three family dwelling at 1229 Butternut and construction of a three story mixed used building with first floor commercial space and apartment on the second and third floors as 618 North Townsend Street.

We initially presented a design for emergency access to the building from Butternut Street and rear driveway to the City Fire Department for during the course of the site design that would not require a variance. This design was rejected due to concerns that Grassman Avenue was too narrow to accommodate the needs of the aerial truck, inability to allow other vehicles pass by the fire trucks, as well as the ability for the aerial truck to negotiate the right hand turn onto Butternut Street.

In summary, we believe the approval of our area variance will benefit the and improve the safety and welfare of the neighboring properties that can only be access by Grassman Avenue

Very truly yours,

A handwritten signature in black ink, appearing to read "Michael Malda". The signature is written in a cursive, slightly slanted style.

Michael C. Malda
Project Manager

SYRACUSE BOARD OF ZONING APPEALS
CITY HALL COMMONS, ROOM 101
201 EAST WASHINGTON STREET
SYRACUSE, NY 13202
(315) 448-8640

Board of Zoning Appeals application Procedures

Variance applications involve public hearings with the Board of Zoning Appeals. A variance application will not be considered complete on the applicant's part until all required submittals have been received and have been through a preliminary review by Zoning Office staff (and possibly other departments), including an evaluation of the application under the New York State Environmental Quality Review Act (SEQR).

Once an application has been determined to be ready for a public hearing with the Board of Zoning Appeals, it will be scheduled for the **next available** hearing date (allowing the necessary time from for the Board's authorization, newspaper publication, mailing schedules, etc.). A "Public Notice" regarding the hearing date will then be mailed to the applicant (and representative, if any), approximately ten (10) days prior to the hearing date.

The public notice is also published in the Syracuse Post Standard newspaper ten (10) days prior to the hearing date. Public notices are also sent to property owners contiguous to any property subject to a public hearing, and to other city departments and neighborhood organizations.

The application, and its contents, will then be open for inspection at the Syracuse Office of Zoning Administration during regular office hours.

Unless otherwise notified, all meetings at which public hearings are to be held will begin at 1:00 p.m. in the Common Council Chambers on the third floor of City Hall.

The applicant or his or her representative **must attend** the public hearing to explain the case request to the Board of Zoning Appeals. (The rules of the Board of Zoning Appeals **do not permit postponements** due to the absences of applicants or their representatives.) A variance decision is not final until a written resolution is adopted by the Board of Zoning Appeals and filed with the secretary to the Board. Depending upon the situation, the resolution may possibly not be adopted until a later meeting. A copy of the resolution will be mailed to the applicant.

Depending upon the type and complexity of the application, additional necessary reviews, and the hearing schedule, the entire variance application process from the submission of the application to the release of the resolution may take approximately two months.

Please sign that you have read and understand the above information and return this page with the application.

Signed:  _____ Date: 2/29/18

This application may be mailed or delivered in person to the Syracuse Office of Zoning Administration, located in Room 101 at City Hall Commons, 201 East Washington Street, Syracuse, NY 13202-1426. If you wish to discuss the application with a member of our staff, please call ahead for an appointment (448-8640).



Stephanie A. Miner
Mayor



SYRACUSE - ONONDAGA COUNTY PLANNING AGENCY



Joanne M. Mahoney
County Executive

LETTER OF COMPLIANCE
STREET NAME DUPLICATION WITHIN THREE MILE JURISDICTIONAL AREA

This letter certifies that the property described on the map referred to herein is in compliance with "The Onondaga County Right of Way Designation Law". This letter also certifies that the property described on the map referred to herein is within the three mile jurisdictional area of the City of Syracuse and therefore approval by the City Planning Commission is necessary and that said approval has been acquired.

Map Title: Grassman Tract Amended New Lot 4A

Street Names: Butternut St. existing
Grassman Ave. existing



Doc ID: 025729850001 Type: MAP
Recorded: 11/22/2017 at 10:54:02 AM
Fee Amt: \$10.00 Page 1 of 1
Onondaga County, NY
Lisa Dell County Clerk

File **12481**

Municipality: City of Syracuse

Tax Map Section: 9

County Reference #: SN-17-115

City Reference #: R-17-31

Date: August 21, 2017


Will Kehoe
GIS Division

LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
---	CLL	CONTRACT LIMIT LINE	○	○	UTILITY POLE	PV ○	○	POST INDICATOR VALVE	TW	○	TOP OF WALL
---	---	STREET LINE / PROPERTY EDGE	NYS68 BA-1	○	UTILITY POLE WITH LIGHT	ERiser ○	○	ELECTRIC RISER	UFG/LFG	○	UPPER FINISH GRADE/LOWER FINISH GRADE
---	100	CONTOUR	○ LP	○	GUY WIRE	○ BOL	○ MB	METAL BOLLARD	○	○	EDGE OF WOODS
---	---	GRANITE CURB	○ LP	○	LIGHT POLE	○	○	TRAFFIC SIGN	○	○	TREES / SHRUBS
---	---	PAVEMENT EDGE	○ IPF	○	CAPPED IRON ROD FOUND	○	○	FIRE HYDRANT	○	○	REMOVE EXISTING TREE
---	---	SAW CUT LINE	○ IPF	○	IRON ROD FOUND	○	○	YARD HYDRANT	○	○	REMOVE EXISTING PAVEMENT
---	---	CURB REMOVAL	○ IPF	○	IRON PIPE FOUND	○	○	WATER VALVE	○	○	REMOVE VEGETATION
---	---	UTILITY REMOVAL	○ TBOX	○	TELEPHONE PULL BOX	○ WMH	○ CB	WATER MANHOLE	○	○	MEDIUM DUTY ASPHALT
---	---	OVERHEAD WIRES	○ TRANS	○	ELECTRIC TRANSFORMER	○ CBRC	○ MH / CB	CATCH BASIN / STORM INLET	○	○	HEAVY DUTY ASPHALT (STREET REPAIR CITY OF SYRACUSE)
---	---	WATER LINE	○ EMTR	○	ELECTRIC METER	○ DMH	○ MH / CB	STORM MAN-HOLE / CONTROL STRUCTURE	○	○	HEAVY DUTY ASPHALT (CITY OF SYRACUSE)
---	---	GAS LINE	○ EHH	○	ELECTRIC HANDHOLE	○ SMH	○	SANITARY MANHOLE	○	○	HEAVY DUTY CONCRETE WITH SCORING
---	---	BURIED TELEPHONE LINE	○ TPED	○	TELEPHONE PEDESTAL	○ CO	○	CLEANOUT	○	○	HEAVY DUTY CONCRETE WITH SCORING (CITY OF SYRACUSE)
---	---	BURIED FIBER OPTIC LINE	○ IT-#	○	SOIL BORING / NUMBER	○ Gv	○	GAS VALVE	○	○	LAWN TYPE I - 4" TOPSOIL AND 60D
---	---	BURIED DATA LINE	○ IT-#	○	INFILTRATION TEST / NUMBER	○	○	VINYL CHAIN LINK / ORNAMENTAL FENCE	○	○	STANDARD CONCRETE WITH SCORING
---	---	BURIED ELECTRIC LINE	○	○	CHAIN LINK FENCE	○	○	SPOT GRADE	○	○	HEAVY DUTY CONCRETE WITH SCORING (CITY OF SYRACUSE)
---	---	SANITARY SEWER - SIZE / TYPE	○	○	○	○	○	FIELD VERIFY	○	○	STANDARD CONCRETE WITH SCORING (CITY OF SYRACUSE)
---	---	STORM SEWER - SIZE / TYPE	○	○	○	○	○	EDGE OF PAVEMENT	○	○	LAWN TYPE I - 4" TOPSOIL AND 60D
---	---	UNDER DRAIN	○	○	○	○	○	TYPICAL	○	○	BENCHMARK / NUMBER
---	---	6" HDPE	---	---	○	○	○	○	○	○	○
---	---	4" UD	---	---	○	○	○	○	○	○	○

SURVEY NOTES

BOUNDARY AND TOPOGRAPHIC INFORMATION WAS TAKEN FROM THE FOLLOWING:

TITLE "BOUNDARY AND TOPOGRAPHIC SURVEY MAPS OF 1117-1123 BUTTERNUT STREET PREPARED FOR HOUSING VISIONS, PART OF CITY BLOCK 12, CITY OF SYRACUSE, ONONDAGA COUNTY, NEW YORK PREPARED BY C.T. MALE ASSOCIATES, ENGINEERING, SURVEYING, ARCHITECTURE AND LANDSCAPE ARCHITECTURE, D.P.C. 2000 GATEWAY PARK DRIVE, BLDG. C, P.O. BOX 3246, SYRACUSE, NY 13220-3246 AND IS DATED OCTOBER 9, 2015.

RESUBDIVISION PLAT INFORMATION ADDED, DATED AUGUST 22, 2016.

UTILITY INFORMATION UPDATED BY C.T. MALE ASSOCIATES, DATED NOVEMBER 11, 2017.

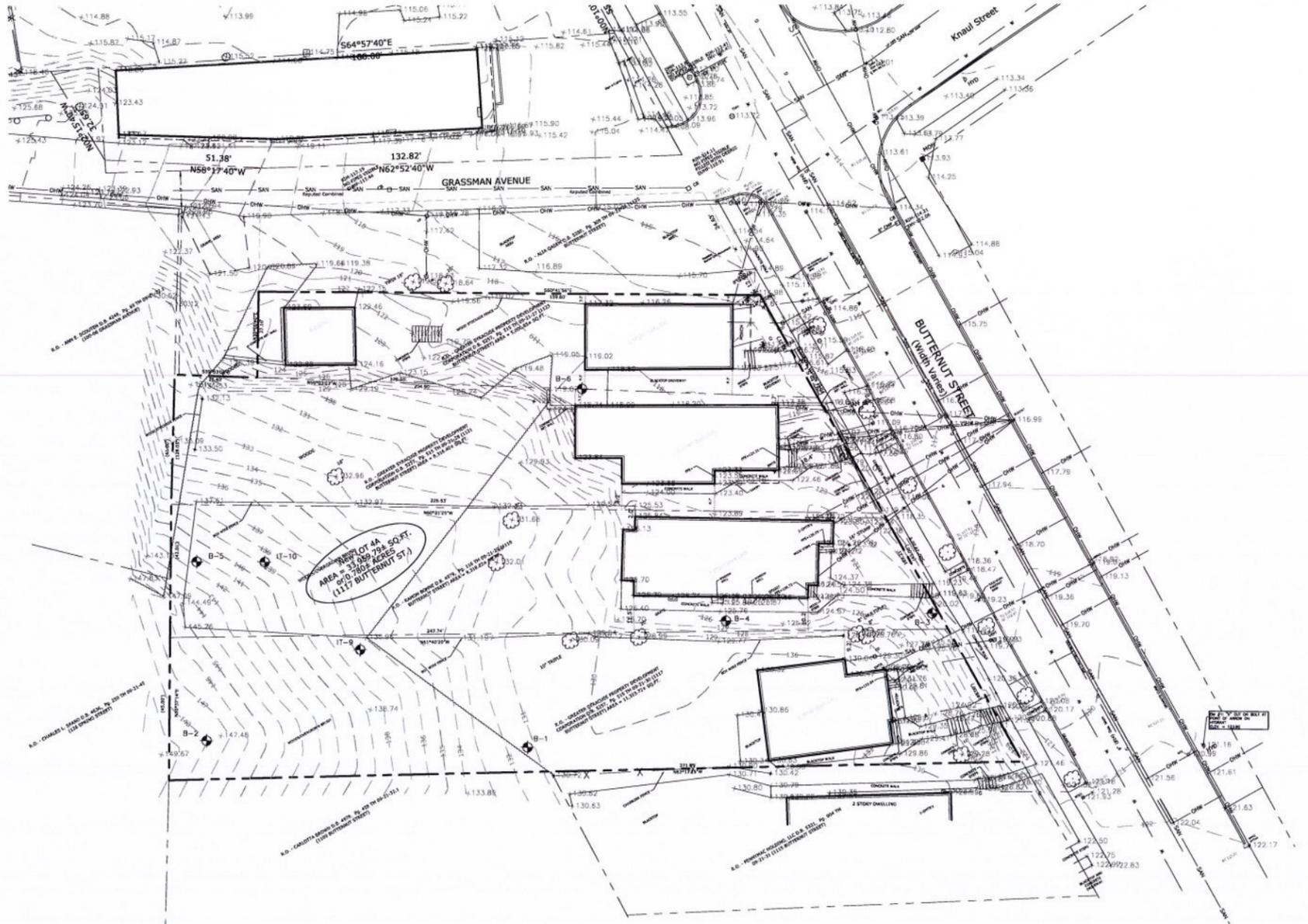
ADDITIONAL SURVEY ALONG GRASSMAN AVENUE BY C.T. MALE ASSOCIATES, DATED DECEMBER 5, 2017.

MAP NOTES:

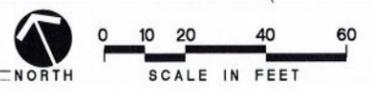
- 1) NORTH ORIENTATION IS BASED ON CITY OF SYRACUSE ROW PLATES LOCATED IN THE OFFICE OF THE CITY OF SYRACUSE ENGINEERING DEPARTMENT.
- 2) VERTICAL DATUM BASED ON CITY OF SYRACUSE DATUM.
- 3) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR UP TO DATE TITLE REPORT AND IS THEREFORE SUBJECT TO ANY EASEMENTS, RESTRICTIONS, COVENANTS OR ANY STATEMENT OF FACTS THAT SUCH DOCUMENTS MAY DISCLOSE.
- 4) PARCEL LIES IN "ZONE C" (AREAS OF MINIMAL FLOODING) AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) COMMUNITY PANEL 360935 004E MAP REVISED MAY 15, 1986.
- 5) SURVEY WAS PERFORMED IN THE FIELD ON OCTOBER 1-5, 2015. ADDITIONAL SURVEY WORK PERFORMED FROM EARLY NOVEMBER TO EARLY DECEMBER, 2017 WITH NO SNOW COVER.
- 6) UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED BY FIELD SURVEY, PREVIOUS MAPS AND RECORDS, (AND PAROLE TESTIMONY). THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION.
- 7) THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PARCEL.
- 8) THIS PARCEL IS ZONED AS "BA" DISTRICT (LOCAL BUSINESS DISTRICT) USE WITHIN THE CITY OF SYRACUSE.

BENCHMARKS:

BM # 1: 'X' CUT ON BOLT AT LOCATION OF ARROW ON HYDRANT LOCATED ALONG EAST SIDE OF BUTTERNUT STREET, IN LINE WITH SOUTH PROPERTY LINE OF 1117 BUTTERNUT STREET. ELEV. +123.90'



SITE SURVEY



LOCATION MAP

NOT TO SCALE



REV	DATE	BY	DESCRIPTION
1	10/4/17	SA	PERMIT SET
1	12/1/17	RM	HCR COMMENTS
2	1/19/18	PA	REV. PERMIT SET

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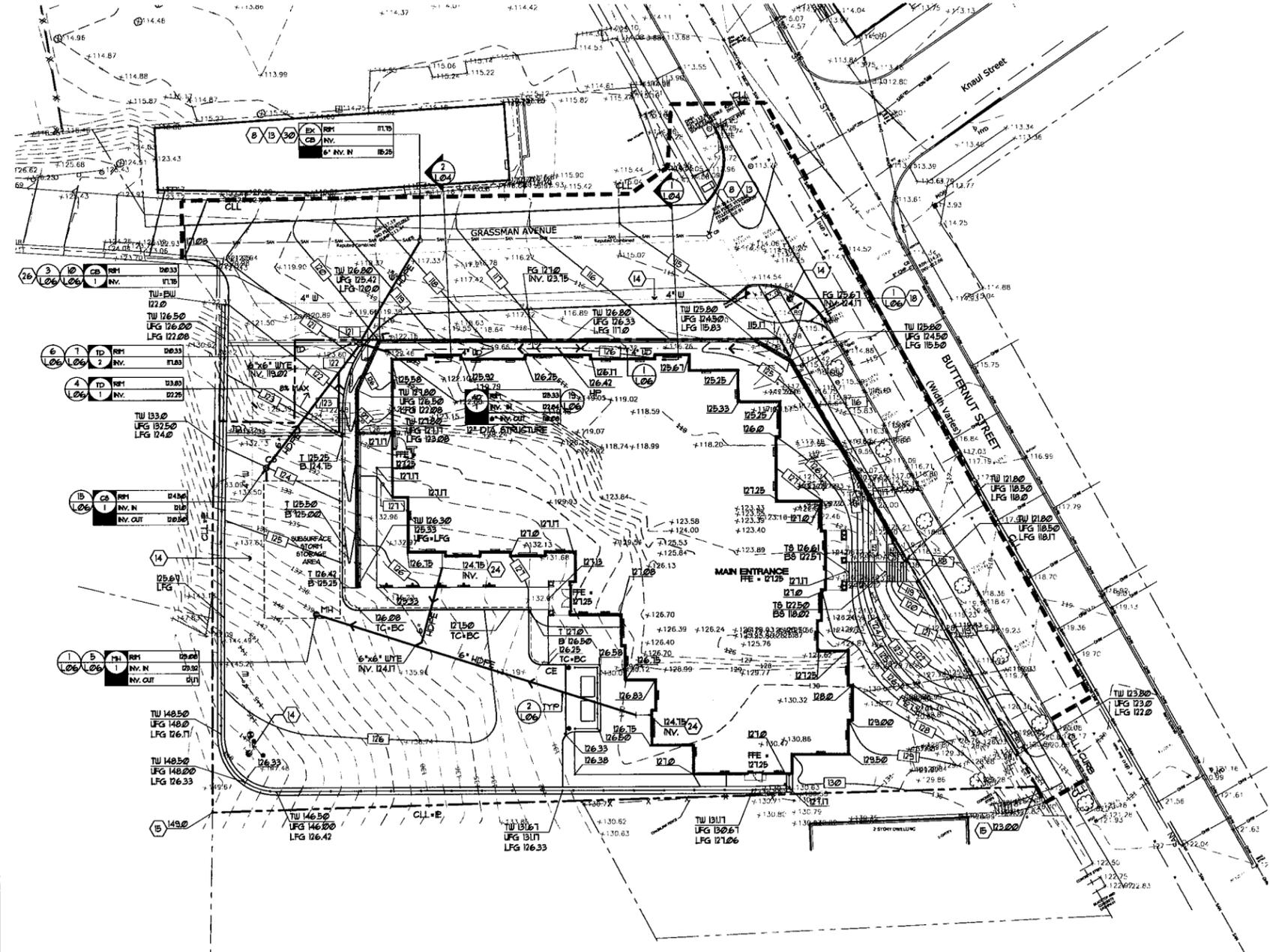
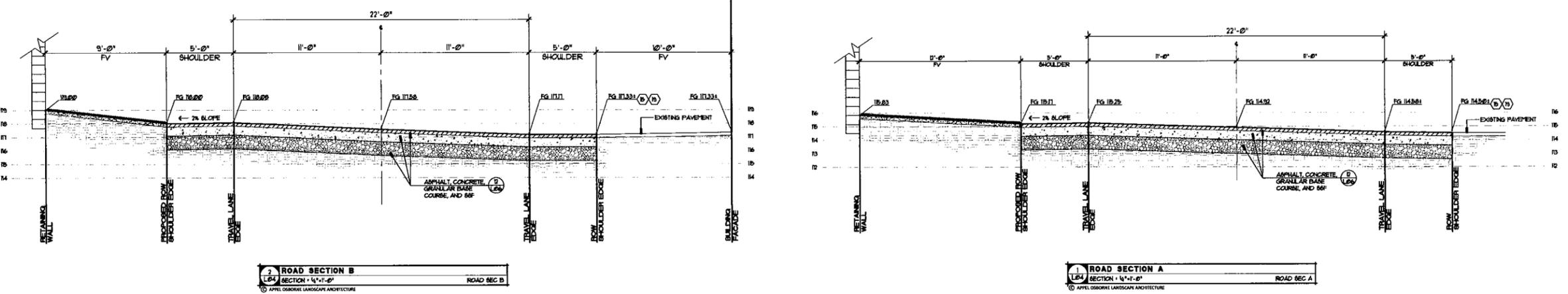
JOB NO: 150335
 DATE: 10/4/2017
 DRAWN BY: SA/PA
 SCALE: AS NOTED

**CONSTRUCTION DRAWINGS FOR BUTTERNUT CROSSING:
 1117-1123 BUTTERNUT STREET
 SYRACUSE, NEW YORK**

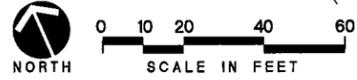
HOLMES • KING • KALLQUIST
 & Associates, Architects - LLP.
 575 NORTH SALINA STREET • SYRACUSE, NY 13208
 P (315) 476-5420 • F (315) 476-8371
 www.hkkarchitects.com

SITE SURVEY

L.00



SITE GRADING AND DRAINAGE PLAN



REV. NO.	DATE	DRAWN BY	DESCRIPTION
10/4/17	SA	PERMIT SET	
12/1/17	RM	HCR COMMENTS	
1/19/18	PA	REV. PERMIT SET	

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JOB NO: 15035
 DATE: 10/4/2017
 DRAWN BY: SA/PA
 SCALE: AS NOTED

**CONSTRUCTION DRAWINGS FOR BUTTERNUT CROSSING:
 1117-1123 BUTTERNUT STREET
 SYRACUSE, NEW YORK**

**HOLMES • KING • KALLQUIST
 & Associates, Architects - LLP.**
 575 North Salina Street • Syracuse, NY 13208
 P: (315) 476-5420 • F: (315) 476-8371
 www.hkkaarchitects.com

THESE DRAWINGS ARE THE PROPERTY OF HOLMES • KING • KALLQUIST & ASSOCIATES, ARCHITECTS - LLP. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF HOLMES • KING • KALLQUIST & ASSOCIATES, ARCHITECTS - LLP. IS STRICTLY PROHIBITED. ANY SUCH REPRODUCTION OR TRANSMISSION SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO HOLMES • KING • KALLQUIST & ASSOCIATES, ARCHITECTS - LLP.

SITE GRADING AND DRAINAGE PLAN

L.04

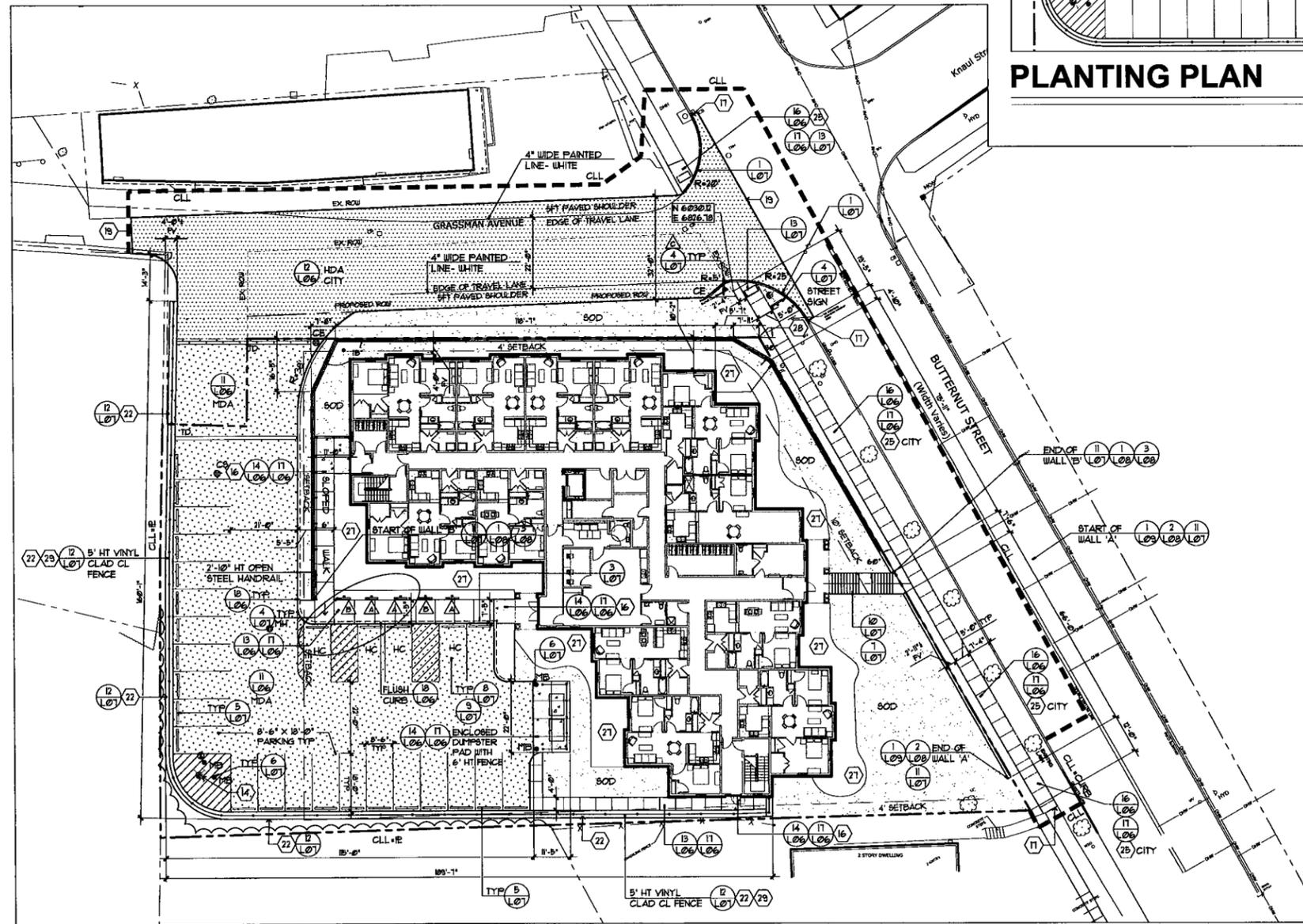
PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	ROOT & SIZE **	SPACING	NOTES
IG	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	31	3" CONT.	4' OC OR AS SHOWN	
JH	JUNIFERUS HORIZONTALIS 'FLUMOSA COMPACTA'	COMPACT ANDORRA JUNIFER	13	3" CONT.	6' OC OR AS SHOWN	
FO	PHYSCAEPUS OPULIFOLIUS 'DIABLO'	DIABLO EASTERN NINEBARK	5	3" CONT.	AS SHOWN	
FV	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	78	3" CONT.	4' OC OR AS SHOWN	
RP	ROSA - HYBRID SHRUB	PINK KNOCKOUT ROSE SHRUB	13	3" CONT.	3' OC OR AS SHOWN	
RW	ROSA - HYBRID SHRUB	SUNNY KNOCKOUT ROSE SHRUB	20	3" CONT.	3' OC OR AS SHOWN	
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	1	5-6' HT.	AS SHOWN	

* PROVIDE VARIETY NOTED, DO NOT SUBSTITUTE WITH SPECIES
 ** PLANTS TO BE BALLED AND BURLAPPED UNLESS NOTED OTHERWISE
 NOTE: FINAL PLACEMENT OF PLANTS TO BE FIELD DIRECTED BY ARCHITECT

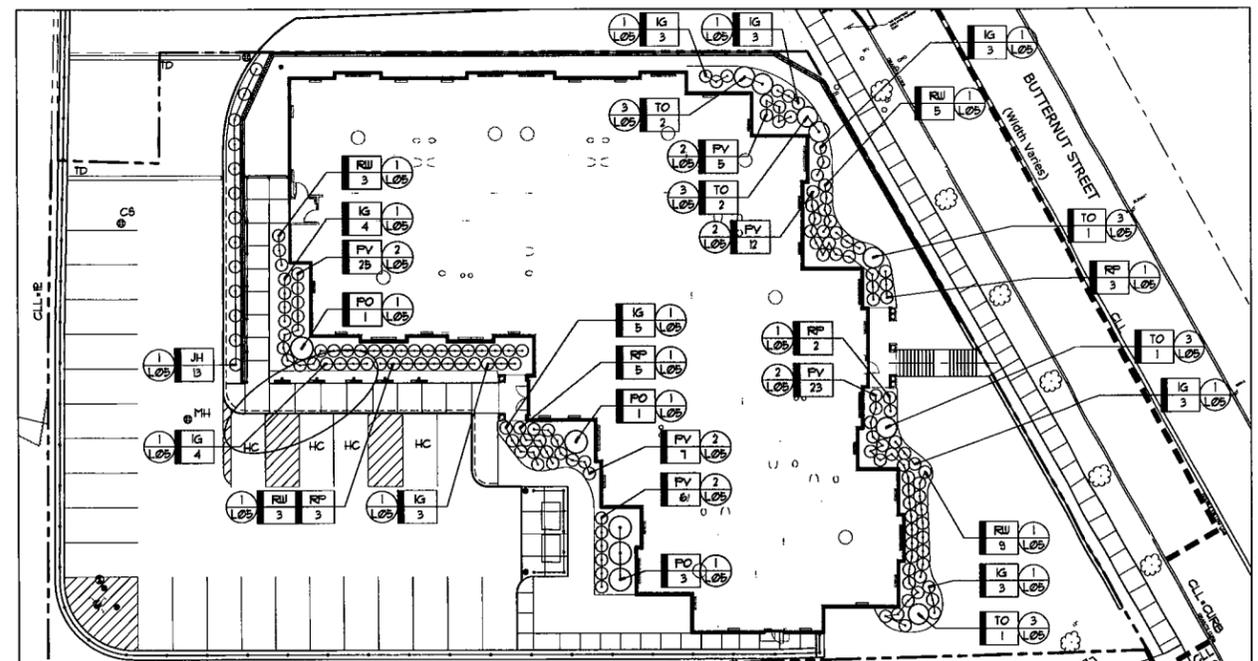
PARKING SUMMARY

OFF STREET PARKING	REQUIRED	PROPOSED	HANDICAP PROVIDED
TWENTY-FOUR (24) DWELLING UNITS	24	24	
COMMUNITY ROOM	3	3	
TOTAL:	27	27	4

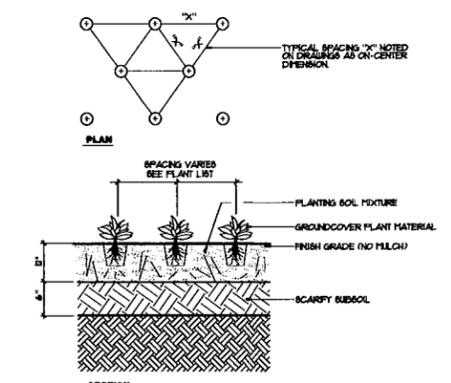
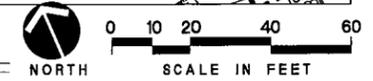


SITE LAYOUT AND PLANTING PLAN

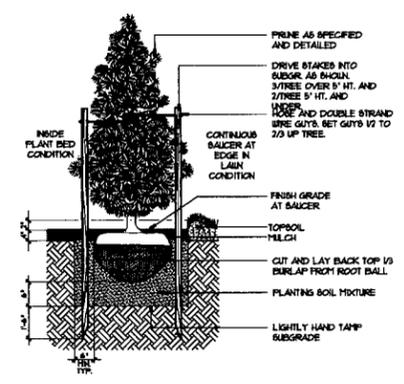
PLANTING PLAN



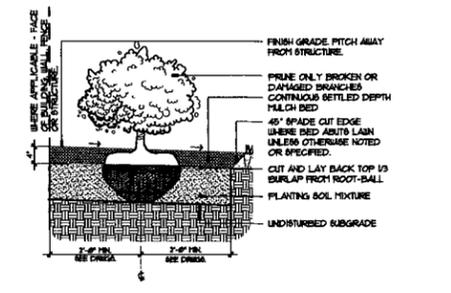
PLANTING PLAN



GROUNDCOVER PLANT SPACING
 SECTION - NOT TO SCALE
 750-010
 © APPEL OSBORNE LANDSCAPE ARCHITECTURE



EVERGREEN TREE PLANTING
 SECTION - NOT TO SCALE
 750-003
 © APPEL OSBORNE LANDSCAPE ARCHITECTURE



SHRUB PLANTING
 SECTION - NOT TO SCALE
 750-002
 © APPEL OSBORNE LANDSCAPE ARCHITECTURE



REV. NO.	DATE	DRAWN BY	DESCRIPTION
1	10/4/17	SA	PERMIT SET
2	12/1/17	RM	HGR COMMENTS
3	1/19/18	PA	REV. PERMIT SET

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JOB NO: 15035
 DATE: 10/4/2017
 DRAWN BY: SA/PA
 SCALE: AS NOTED

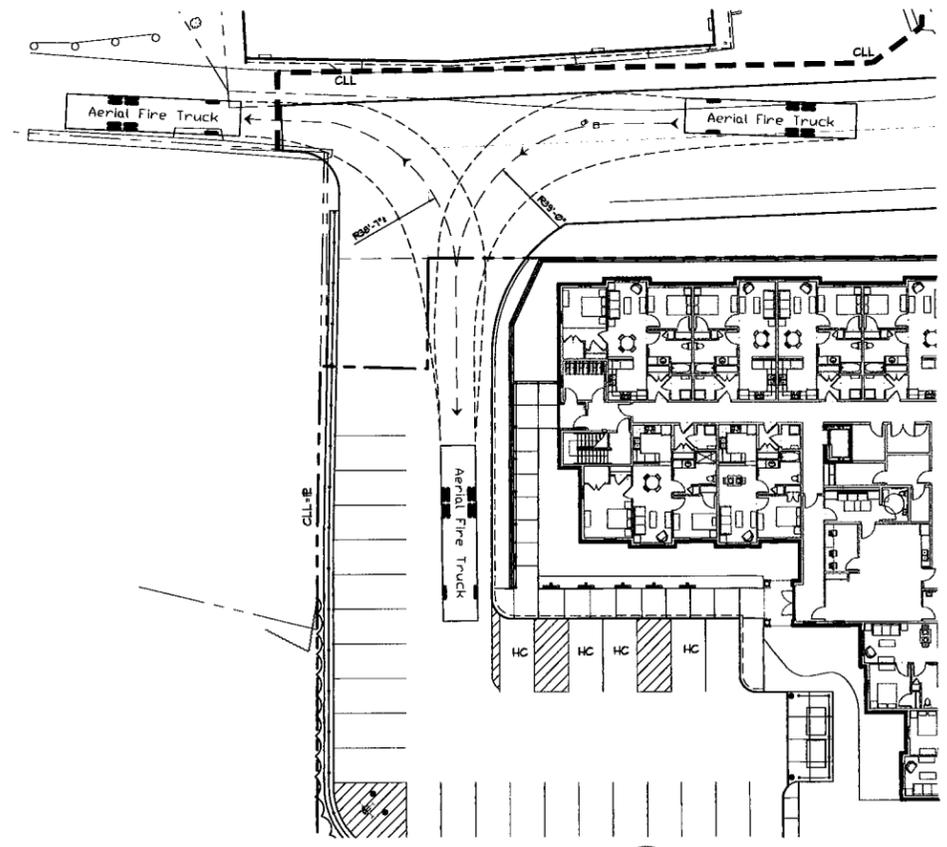
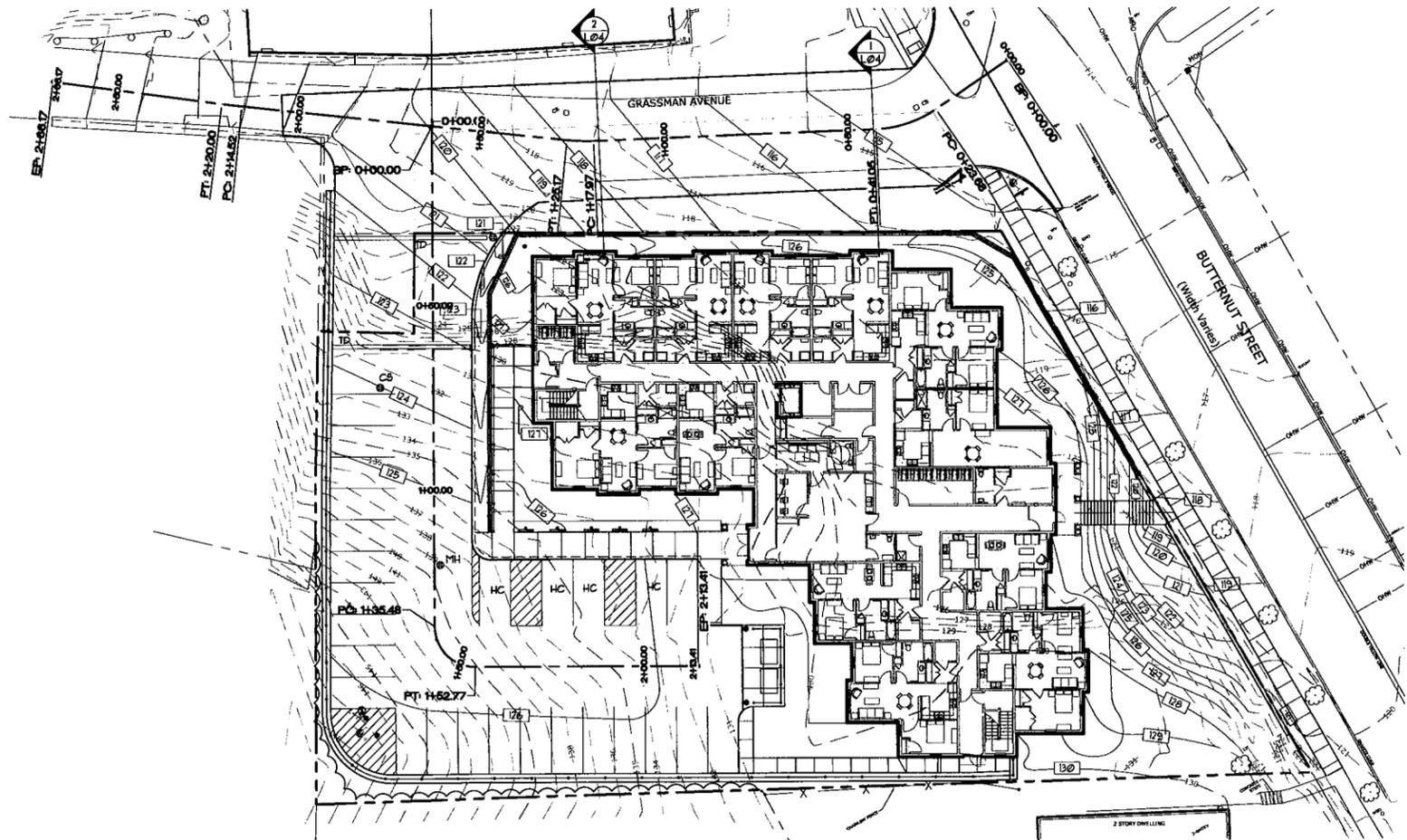
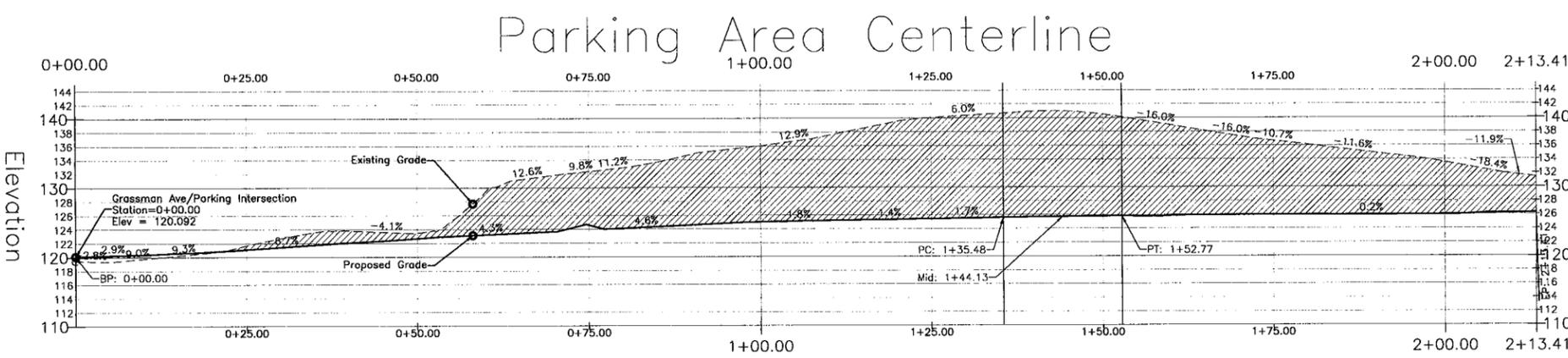
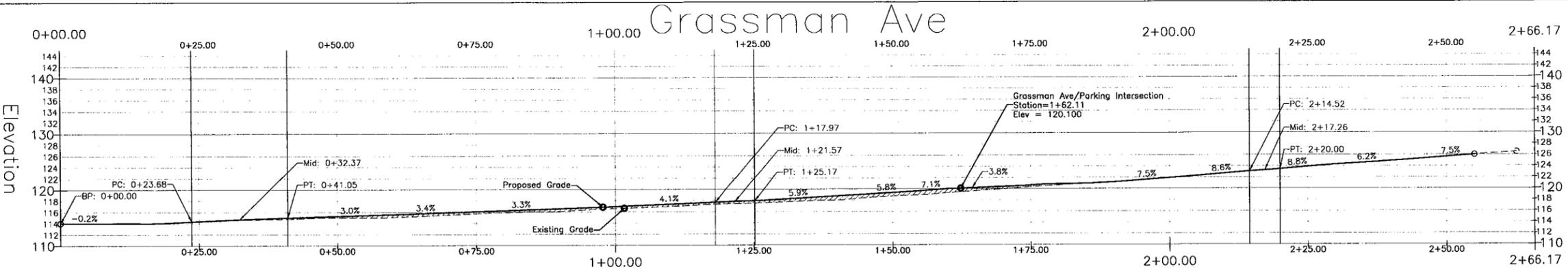
**CONSTRUCTION DRAWINGS FOR BUTTERNUT CROSSING:
 1117-1123 BUTTERNUT STREET
 SYRACUSE, NEW YORK**

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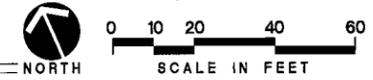
SITE LAYOUT AND PLANTING PLAN

L.05

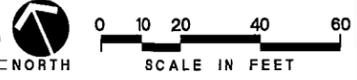
DATE: 10/4/2017. THE TITLE, THE EDUCATION OF NEW YORK, PROJECTS ARE, AND ALL ALTERNATIONS TO THIS DRAWING OR DOCUMENT BY ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, ANY SUCH ALTERNATIONS SHALL BE IN WRITING, AND SHOWN BY THE ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 9400.



ROAD ALIGNMENT AND PROFILES



FIRE TRUCK TURNING RADIUS



REV	DATE	DRAWN BY	DESCRIPTION
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1	12/1/17	RM	HCR COMMENTS
2	1/19/18	PA	REV. PERMIT SET

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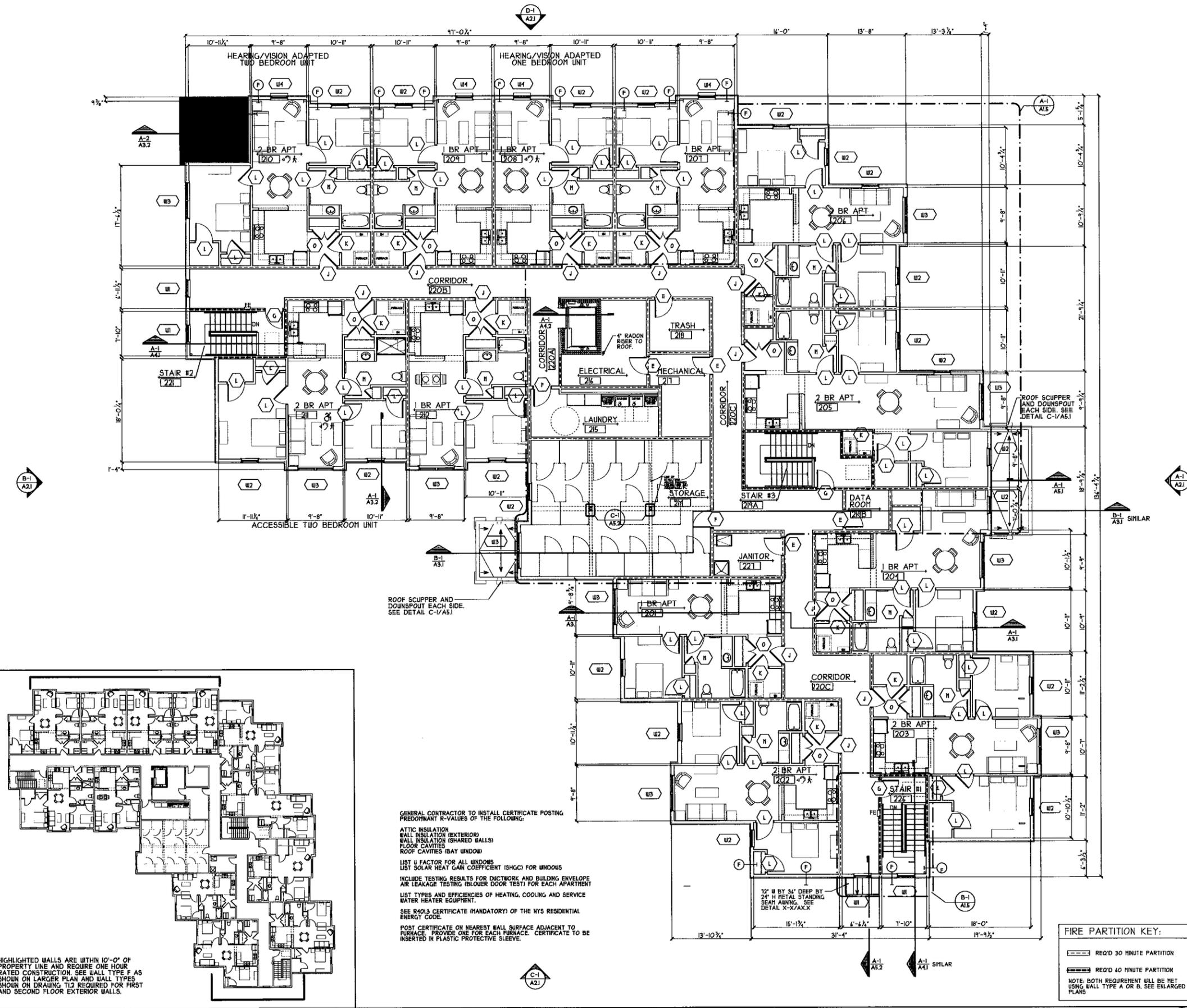
JOB NO: 15035
DATE: 10/4/2017
DRAWN BY: SA/PA
SCALE: AS NOTED

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ROAD ALIGNMENT & PROFILES

L.10



GENERAL BUILDING CODE COMPLIANCE DATA

OCCUPANCY CLASSIFICATION: R-2 - APARTMENT BUILDING
 ZONING CLASSIFICATION: BA-3 LOCAL BUSINESS DISTRICT, CLASS 3 AND MULTI-FAMILY DWELLINGS 1 APARTMENT BUILDINGS ALLOWED
 SITE AREA: 33,957.11 S.F. / 0.78 ACRES
 NATURE OF WORK: NEW CONSTRUCTION
 CONSTRUCTION TYPE: TYPE VB
 FIRE AREA LIMITS: 2 STORY/1,000 SF
 FIRE AREA INCREASE: 2 STORY/4,000 SF
 HEIGHT LIMITS: TWO STORIES
 FRONT YARD SETBACK: 10'-0" MINIMUM
 REAR YARD SETBACK: 45'-0" MINIMUM
 SIDE YARD SETBACK: 4'-0" MINIMUM

RATED SEPARATIONS:
 APARTMENT AND HALLWAY: 30 MINUTES
 APARTMENT TO APARTMENT: 30 MINUTES
 ELEVATOR SHAFT: 40 MINUTES
 STAIR ENCLOSURES: 40 MINUTES
 FLOOR TO FLOOR: 10 MINUTES

FIRE PROTECTION SYSTEMS:
 AUTOMATIC SPRINKLER: REQUIRED - NFPA 13
 STAND PIPE SYSTEM: NOT APPLICABLE
 PORTABLE FIRE EXTINGUISHERS: REQUIRED AT CORRIDORS. SEE DWGS FOR LOCATION

GENERAL UNIT DATA

GROSS BUILDING SQUARE FOOTAGE: 21301/2504 S.F.
 GROSS RESIDENTIAL SPACE: 11309/1131 S.F.
 GROSS RESIDENTIAL SHARED SPACE: 1051/120 S.F.
 GROSS NON-RESIDENTIAL SHARED SPACE: 0 S.F.

OF APARTMENTS TOTAL:
 (A) ONE-BEDROOM UNITS
 (B) TWO-BEDROOM UNITS
 (C) ACCESSIBLE UNITS
 (D) HEARING/VISION UNITS
 (E) VISITABLE UNITS

ACCESSIBLE UNIT: UNIT IS LOCATED ON AN ACCESSIBLE ROUTE AND CAN BE APPROACHED, ENTERED AND USED BY INDIVIDUALS WITH PHYSICAL IMPAIRMENTS. HISTORIC DOORS TO REMAIN WILL HAVE DOOR OPENERS INSTALLED TO MEET ACCESSIBILITY REQUIREMENTS, AND PROVIDE A MINIMUM 32" CLEAR WIDTH WHEN OPEN.

HEARING/VISION UNITS: THESE UNITS ARE IN COMPLIANCE WITH THE APPLICABLE STANDARDS SET FORTH BY THE BUILDING CODE OF NEW YORK STATE, SECTION 504 OF THE REHABILITATION ACT OF 1973, AND THE FEDERAL FAIR HOUSING ACT AND THEIR RESPECTIVE REGULATIONS AND GUIDELINES.

VISITABLE UNITS: A RESIDENTIAL UNIT THAT INCLUDES THE PROVISION OF AT LEAST ONE MEANS OF ENTRY ON AN ACCESSIBLE ROUTE, WITH MINIMUM 32" WIDE DOORS, AND MINIMUM 32" WIDE OPENINGS ON CIRCULATION PATH. HISTORIC DOORS TO REMAIN WILL HAVE DOOR OPENERS INSTALLED TO MEET ACCESSIBILITY REQUIREMENTS, AND PROVIDE A MINIMUM 32" CLEAR WIDTH WHEN OPEN. UNITS WILL PROVIDE ACCESS TO A BATHROOM WITH FLOOR SPACE TO ACCOMMODATE A PERSON IN A WHEELCHAIR AND ALLOW THAT PERSON TO CLOSE THE DOOR WITHOUT HELP.

2ND FLOOR UNIT DATA

UNIT NUMBER	BEDROOM COUNT	AREA (SF)	ACCESSIBLE VISITABLE OR HEARING/VISION
PROPOSED SECOND FLOOR APARTMENTS			
201	1	428/424	VISITABLE
202	2	741/781	VISITABLE
203	2	803/841	VISITABLE
204	1	131/153	VISITABLE
205	2	448/468	VISITABLE
206	2	785/789	VISITABLE
207	1	428/424	VISITABLE
208	1	428/424	HEARING/VISION/VISITABLE
209	1	428/424	VISITABLE
210	2	741/781	HEARING/VISION/VISITABLE
211	1	428/424	VISITABLE
212	1	820/858	ACCESSIBLE
213	1	428/424	VISITABLE
TOTAL	18	8201/8014	VISITABLE

NOTE: ACCESSIBLE APARTMENTS TO ALSO RECEIVE HEARING/VISION ADAPTED APARTMENTS. THESE UNITS ARE NOT INCLUDED IN THE REQUIRED HEARING/VISION ADAPTED UNIT COUNT.

2ND FLOOR COMMON DATA

ROOM NAME	AREA (SF)
BULK STORAGE	448/445
LAUNDRY	204/201
BIKE ROOM	289/289
CORRIDORS/STAIRS VESTIBULES/ELEVATOR	1741/1710
MECHANICAL	344/344
TRASH & JANITOR RMS	184/184
TOTAL	3252/3308

GENERAL NOTES:

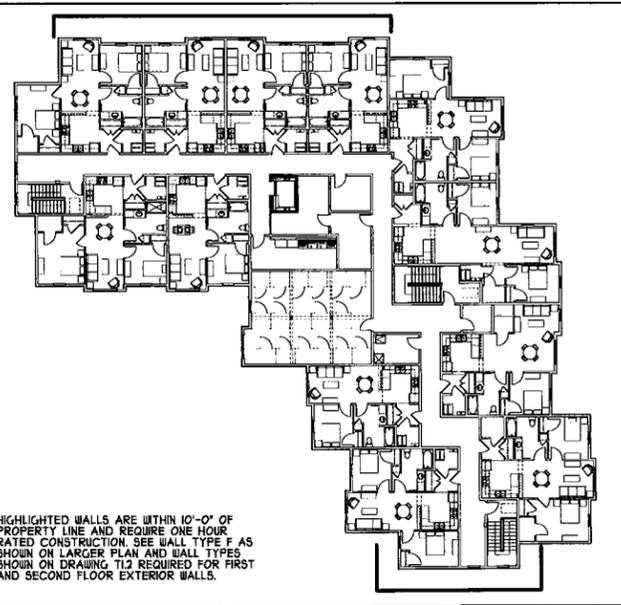
SEE DOOR SCHEDULE ON DRAWING A11
 SEE WINDOW SCHEDULE ON DRAWING A12
 SEE AIR SEALING AND INSULATION REQUIREMENTS ON DRAWING T12
 SEE WALL TYPES ON DRAWING T12, A-1 AND A-12
 SEE PASSIVE RADON DIAGRAM ON DRAWING A10.

FIRE PARTITIONS

ALL PENETRATIONS THROUGH FLOORS AND FULL HEIGHT WALLS TO BE FIRE STOPPED AS REQUIRED BY SECTION 708. FIRE PARTITIONS OF THE 2015 INTERNATIONAL BUILDING CODE AND 2015 NYS AMENDMENTS. ALL GAPS AND JOINTS AT RATED FLOORS, ROOFS, WALLS AND INTERSECTIONS OF WALLS TO BE FIRE STOPPED. GAPS AND JOINTS INCLUDE (BUT ARE NOT LIMITED TO) TOP OF WALL TO FLOOR OR ROOF DECK WALL TO BEARS, AND CONTROL JOINTS OR EXPANSION JOINTS. FIRE STOPPING INCLUDES BOTH FIRM OR PACKING MATERIAL AND THE FILL, VOID OR CAVITY MATERIAL.

RATED FIRE PARTITIONS/RATED WALL CONSTRUCTION ARE TO BE CONTINUOUS FROM CONCRETE SLAB TO RATED FLOOR/CEILING ASSEMBLY ABOVE OR FROM RATED FLOOR TO RATED ASSEMBLY AT BOTTOM OF ROOF TRUSS/ROOF DECK. RATED PARTITIONS ARE TO BE CONTINUOUS FROM EXTERIOR WALL TO RATED WALL OR FROM RATED WALL TO RATED WALL.

STENCIL "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" WITHIN 5 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR-CEILING ATTIC SPACE (VOID AT ROOF DECK) FIRE WALL, FIRE PARTITION OR ANY OTHER WALL REQUIRED TO HAVE PROTECT OPENING OR PENETRATION. CONFORM TO REQUIREMENTS LISTED IN THE 2015 IBC SECTION 703.1



HIGHLIGHTED WALLS ARE WITHIN 10'-0" OF PROPERTY LINE AND REQUIRE ONE HOUR RATED CONSTRUCTION. SEE WALL TYPE F AS SHOWN ON LARGER PLAN AND WALL TYPES SHOWN ON DRAWING T12 REQUIRED FOR FIRST AND SECOND FLOOR EXTERIOR WALLS.

RATED EXTERIOR WALL LOCATION DIAGRAM AT PROPERTY LINE
 NO SCALE
 A-1
 B-2

GENERAL CONTRACTOR TO INSTALL CERTIFICATE POSTING PREDOMINANT R-VALUES OF THE FOLLOWING:
 ATTIC INSULATION
 WALL INSULATION (EXTERIOR)
 WALL INSULATION (SHARED WALLS)
 FLOOR CAVITIES
 ROOF CAVITIES (BAY WINDOW)

LIST U FACTOR FOR ALL WINDOWS
 LIST SOLAR HEAT GAIN COEFFICIENT (SHGC) FOR WINDOWS
 INCLUDE TESTING RESULTS FOR DUCTWORK AND BUILDING ENVELOPE AIR LEAKAGE TESTING (BLOWER DOOR TEST) FOR EACH APARTMENT
 LIST TYPES AND EFFICIENCIES OF HEATING, COOLING AND SERVICE WATER HEATER EQUIPMENT.
 SEE R401.3 CERTIFICATE (MANDATORY) OF THE NYS RESIDENTIAL ENERGY CODE.
 POST CERTIFICATE ON NEAREST WALL SURFACE ADJACENT TO FURNACE. PROVIDE ONE FOR EACH FURNACE. CERTIFICATE TO BE INSERTED IN PLASTIC PROTECTIVE SLEEVE.

12" W BY 34" DEEP BY 24" H RETAIL STANDING BEAM FINISH. SEE DETAIL X-X/A3X

FIRE PARTITION KEY:

--- REQ'D 30 MINUTE PARTITION
 --- REQ'D 40 MINUTE PARTITION

NOTE: BOTH REQUIREMENT WILL BE MET USING WALL TYPE A OR B. SEE ENLARGED PLANS

SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 A-1
 A12

CONSTRUCTION DRAWINGS FOR BUTTERNUT CROSSING:
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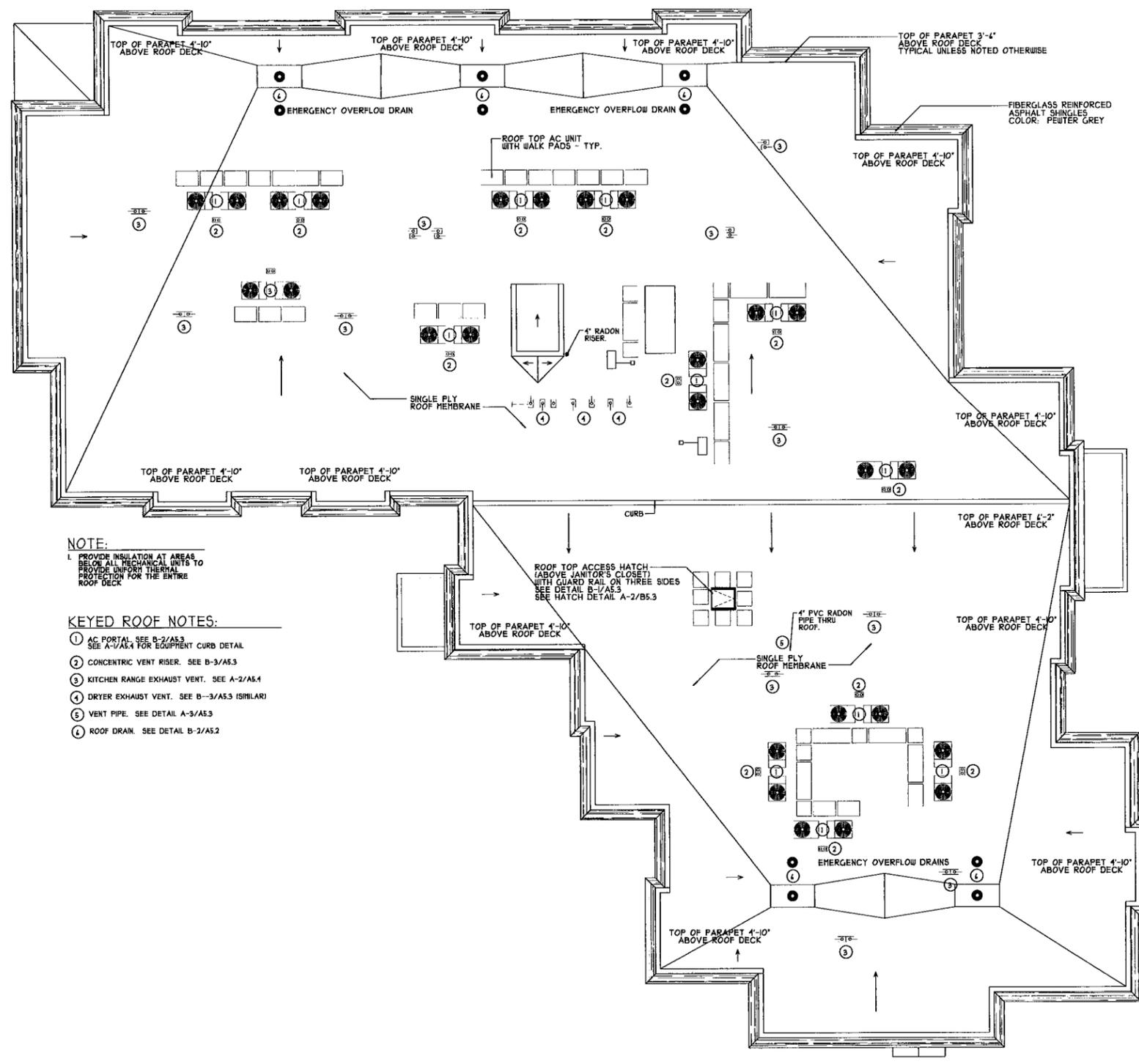
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PROJECT NORTH

JOB NO: 150481
 SHEETS: 20155004
 DATE: 01 DEC 2017
 CONSTRUCTION SET
 DRAWN BY: MCM
 SCALE: AS NOTED

SECOND FLOOR PLAN

A12



NOTE:
 1. PROVIDE INSULATION AT AREAS BELOW ALL MECHANICAL UNITS TO PROVIDE UNIFORM THERMAL PROTECTION FOR THE ENTIRE ROOF DECK

- KEYED ROOF NOTES:**
- ① AC PORTAL. SEE B-2/A5.3 SEE A-1/A5.4 FOR EQUIPMENT CURB DETAIL
 - ② CONCENTRIC VENT RISER. SEE B-3/A5.3
 - ③ KITCHEN RANGE EXHAUST VENT. SEE A-2/A5.4
 - ④ DRYER EXHAUST VENT. SEE B-3/A5.3 (SIMILAR)
 - ⑤ VENT PIPE. SEE DETAIL A-3/A5.3
 - ⑥ ROOF DRAIN. SEE DETAIL B-1/A5.2

REV. No.	DATE	DRAWN BY	DESCRIPTION

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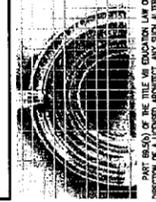
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SHARS:	20156054
DATE:	01 DEC 2017
CONSTRUCTION SET:	
DRAWN BY:	MCM
SCALE:	AS NOTED

PROJECT NORTH

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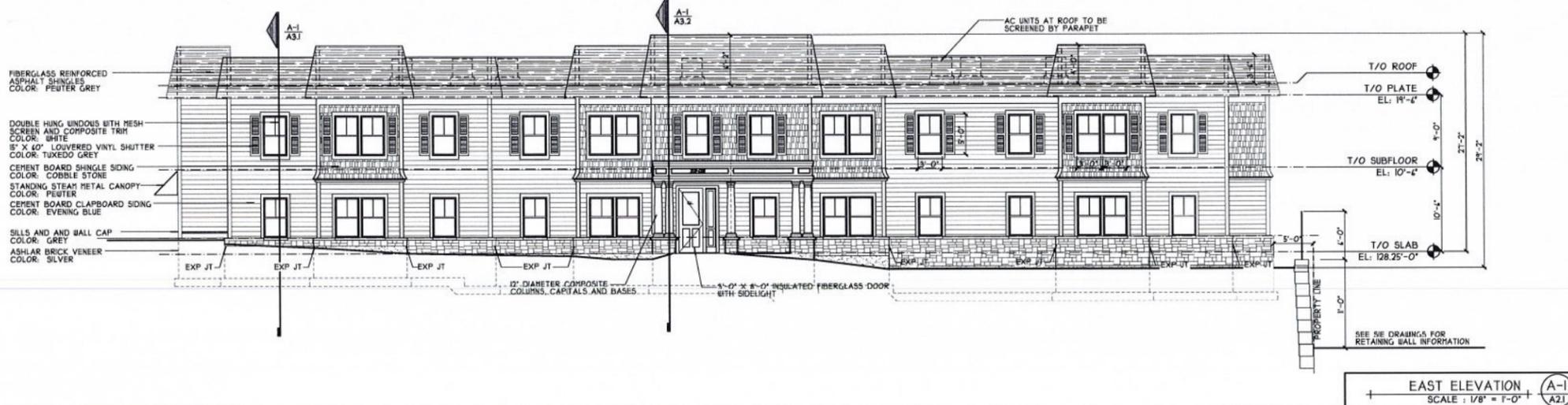
ROOF PLAN

A1.3

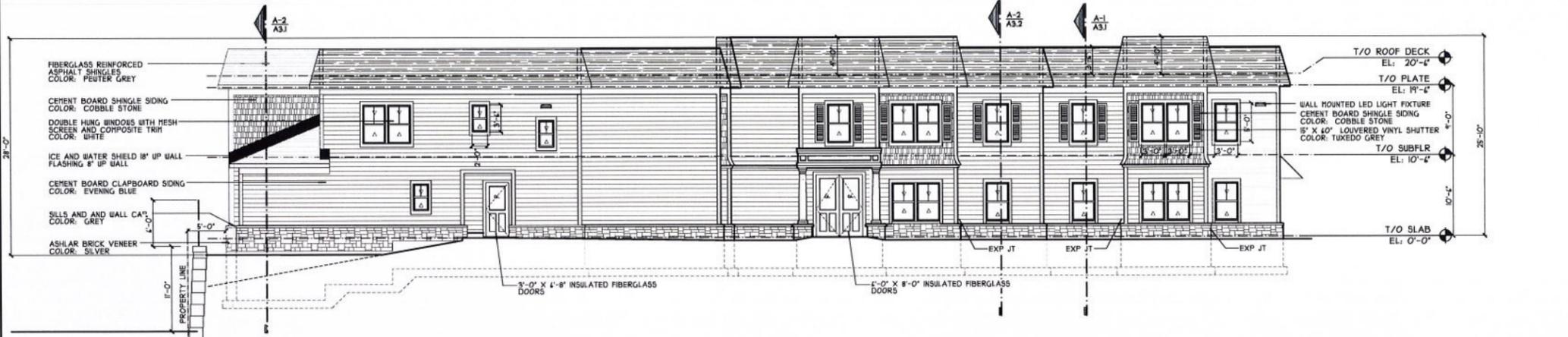
THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0" (A-1)
 A1.3

GENERAL NOTES:

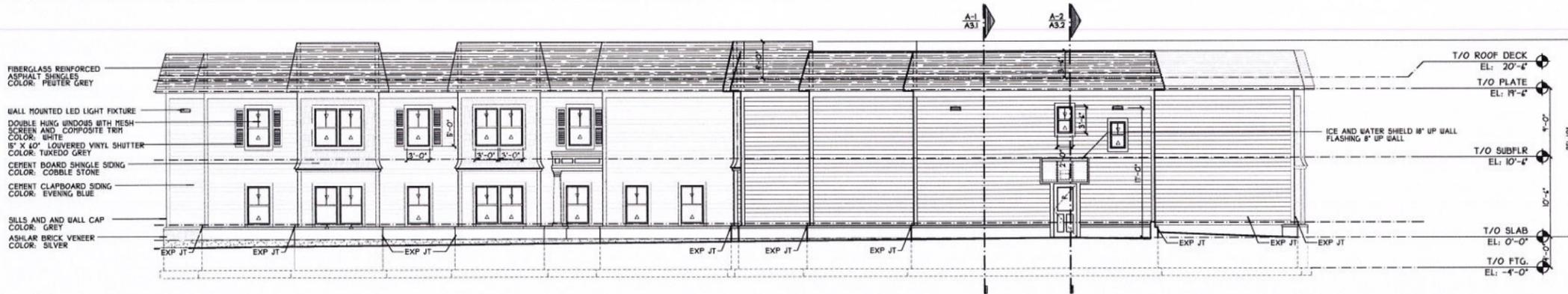
- LOWER ROOF AREAS (SUBJECT TO SNOW DUMP FROM HIGHER ROOF SURFACES) SHALL HAVE 5/8" PLYWOOD ROOF DECKING, PROVIDE FULL COVERAGE OF ICE AND WATER SHIELD. PROVIDE MINIMUM 8" HIGH METAL FLASHING AT ROOF AND GALL.
- SEAL ALL WALL AND JOINT PENETRATIONS TO PREVENT PEST ENTRY. PROVIDE RODENT AND CORROSION PROOF STAINLESS STEEL MESH/SCREEN FOR LARGE OPENINGS.
- PROVIDE ALL MATERIALS AND ACCESSORIES PER SINO MANUFACTURER'S INSTALLATION DETAILS AND IN KEEPING WITH THE INDUSTRY STANDARDS FOR ALL PRODUCTS AND SYSTEMS.
- COORDINATE ALL WALL PENETRATIONS WITH MEP DRAWINGS. SEAL ALL WALL ALL WALL PENETRATIONS TO PREVENT WATER, AIR AND INSECT INFILTRATION.
- WINDOWS SHOWN ARE PELLA IMPERVIA WINDOWS. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- COMPOSITE TRIM TO BE INSTALLED AT ALL WINDOWS AND DOORS AT ALL ELEVATIONS AS SHOWN. SHUTTER TO BE INSTALLED AS SHOWN ON DRAWINGS. SHUTTERS TO BE LOUVERED VINYL SHUTTERS 5" X 50", COLOR TO BE TUXEDO GREY. SHUTTERS BY BULDER'S EDGE OR EQUAL.
- OPTION TO USE INSULATED VINYL SIDING IN LEUOP FIBER CEMENT PRODUCT. PROVIDE ALL MATERIALS AND ACCESSORIES PER THE VINYL SIDING MANUFACTURER'S INSTALLATION DETAILS AND IN KEEPING WITH THE INDUSTRY STANDARDS FOR ALL PRODUCTS AND SYSTEMS. COMPOSITE TRIM TO BE INSTALLED AT ALL WINDOWS AND DOORS AT ALL ELEVATIONS. COMPOSITE TRIM TO BE INSTALLED AT ALL EXTERIOR DOORS ON OTHER FACADES.



EAST ELEVATION A-1 A21
SCALE: 1/8" = 1'-0"



WEST ELEVATION B-1 A21
SCALE: 1/8" = 1'-0"



NORTH ELEVATION C-1 A21
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION D-1 A21
SCALE: 1/8" = 1'-0"

REV	DATE	DRAWN	DESCRIPTION
1	12/12/17	MCM	HR COMMENTS 12/5/17
2	1/16/18	MCM	PERMIT REVIEW COMMENTS

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EXTERIOR ELEVATIONS

A2.1

1117 Butternut Street Existing Streetscape Photographs

Photograph #1: Taken 2017



Photograph #2: Taken 2017



1117 Butternut Street Existing Streetscape Photographs

Photograph #3: Taken 2017



Photograph #3: Taken February 2018



1117 Butternut Street Existing Streetscape Photographs

Photograph #4: Taken 2017



1120, 1118, and 1116 Butternut from left of photo to right.

Photograph #5: Taken 2017



1117 Butternut Street Existing Streetscape Photographs

Photograph #6: Taken 2017



Photograph #7: Taken 2017



1117 Butternut Street Existing Streetscape Photographs

Photograph #8: Taken 2017



Photograph #8: Taken February 2018



1123 Butternut has been demolished and debris is being removed from the site.

1117 Butternut Street Existing Streetscape Photographs

Photograph #9:



Photograph #10:

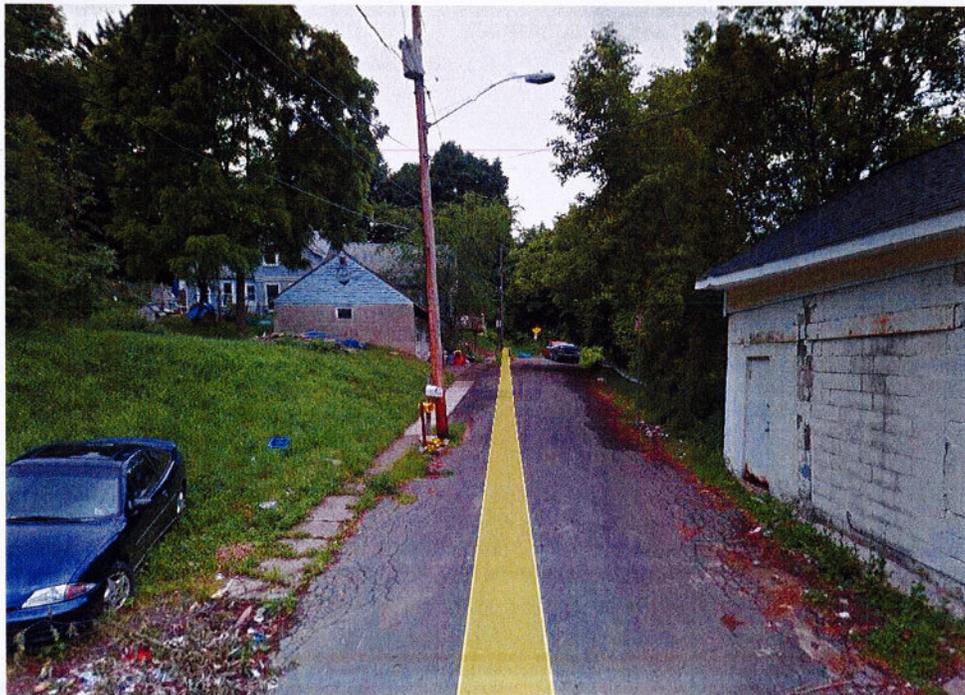


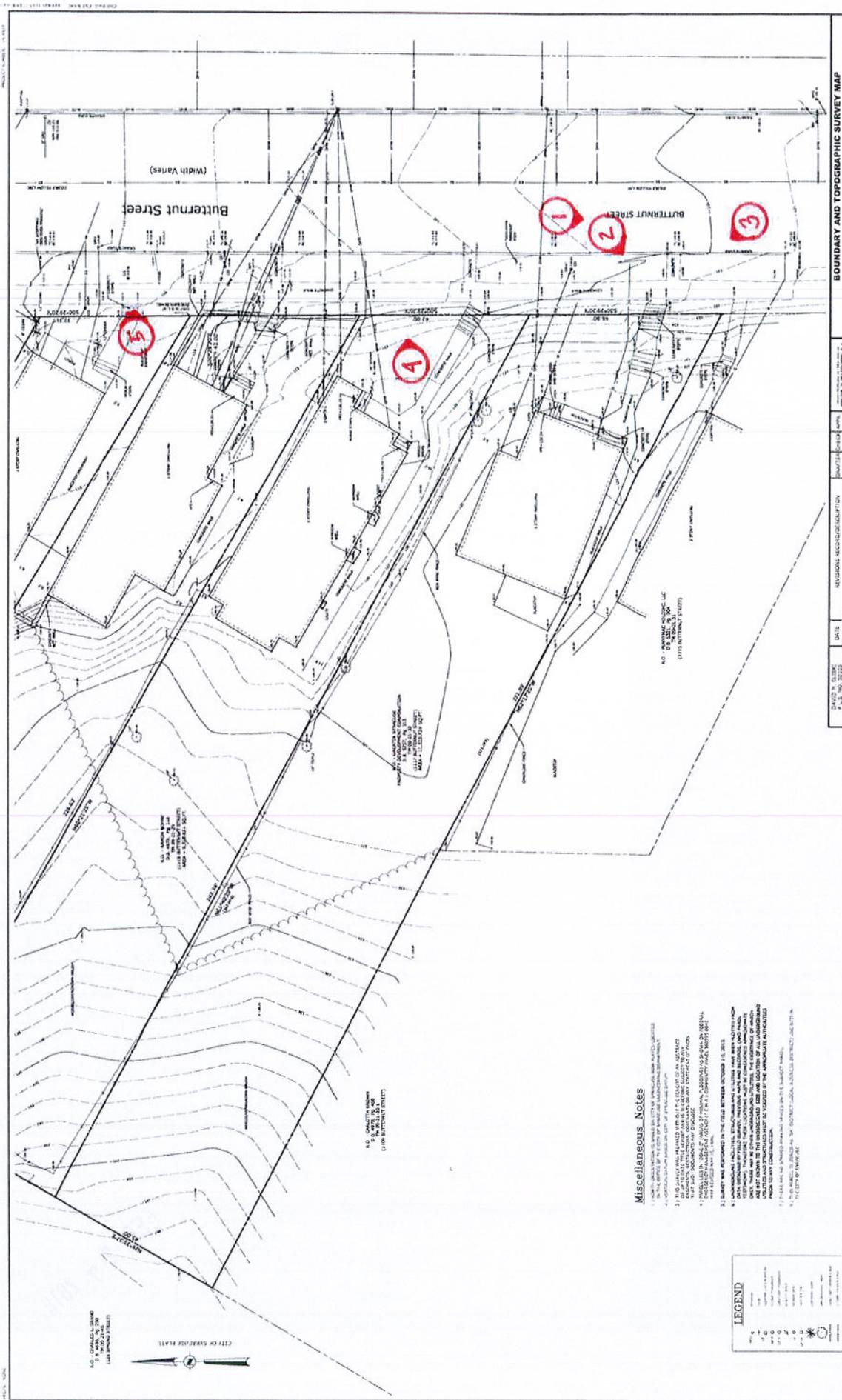
1117 Butternut Street Existing Streetscape Photographs

Photograph #11:



Photograph #12:





M.S. CHANCELL, SENIOR
 300 W. 11th St.
 (1st Floor)
 WICHITA, KS 67202



CITY OF SANGHONA COUNTY

Miscellaneous Notes

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

LEGEND

1	Property Boundary
2	Street Right-of-Way
3	Utility Line
4	Contour Line
5	Spot Elevation
6	Building Footprint
7	Driveway
8	Setback Line
9	Survey Point
10	Corner Marking
11	Iron Pin
12	Aluminum Nail
13	Copper Nail
14	Steel Nail
15	Concrete Nail
16	Wood Nail
17	Iron Spike
18	Aluminum Spike
19	Copper Spike
20	Steel Spike
21	Concrete Spike
22	Wood Spike

I CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF KANSAS AND THE CITY OF SANGHONA COUNTY, KANSAS. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES TO ANY OTHER PARTY.

[Signature]
 DATE: 08/15/2023



BOUNDARY AND TOPOGRAPHIC SURVEY MAP
 1117 BUTTERNUT STREET
 HOUSING VISIONS
 1117 BUTTERNUT STREET, LLC
 SANGHONA COUNTY, KANSAS

DESIGNED BY: M.S. CHANCELL, SENIOR
 CHECKED BY: M.S. CHANCELL, SENIOR
 DATE: 08/15/2023
 SCALE: 1" = 20.00'
 SHEET NO. 1 OF 1

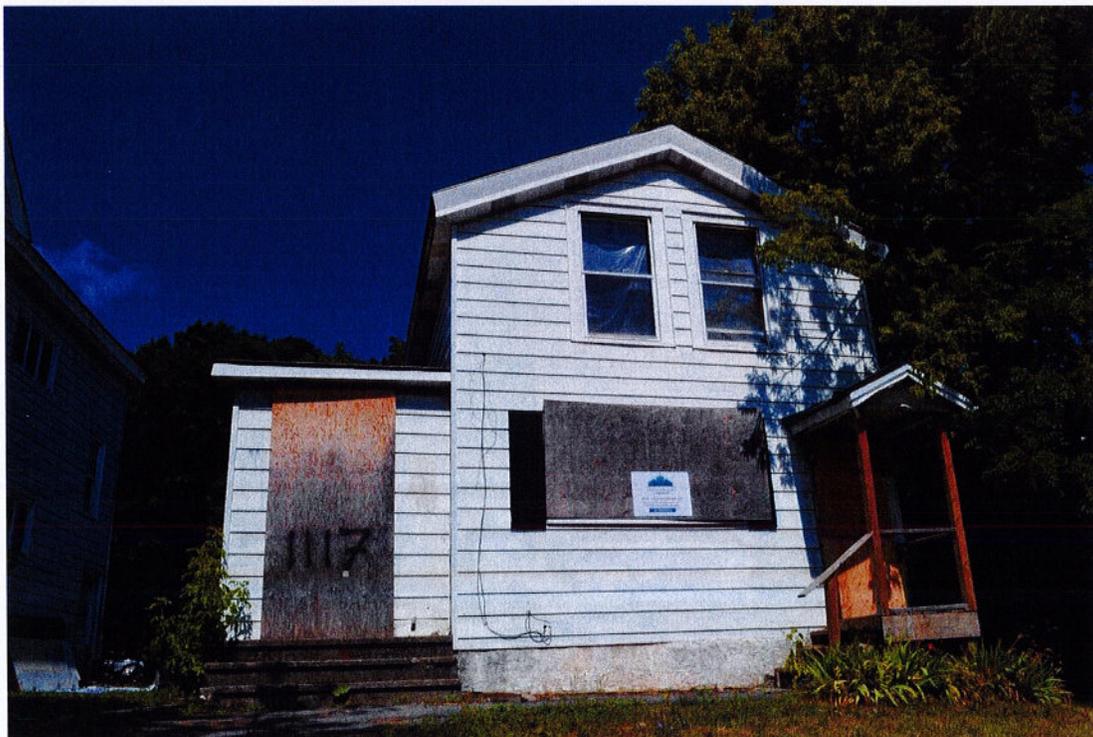
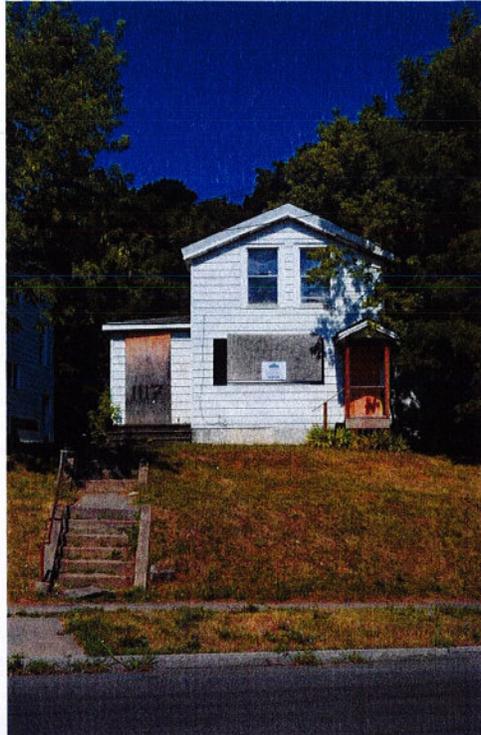
C.T. MALE ASSOCIATES
 Engineering, Surveying, Architecture & Construction, P.A.
 1117 BUTTERNUT STREET, LLC
 SANGHONA COUNTY, KANSAS
 DATE: 08/15/2023

REVISION	DATE	DESCRIPTION
1	08/15/2023	INITIAL DESIGN
2	08/15/2023	REVISED PER CITY COMMENTS
3	08/15/2023	REVISED PER CITY COMMENTS
4	08/15/2023	REVISED PER CITY COMMENTS
5	08/15/2023	REVISED PER CITY COMMENTS
6	08/15/2023	REVISED PER CITY COMMENTS
7	08/15/2023	REVISED PER CITY COMMENTS
8	08/15/2023	REVISED PER CITY COMMENTS
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49	08/15/2023	REVISED PER CITY COMMENTS
50	08/15/2023	REVISED PER CITY COMMENTS

1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

1117, 1119, 1121 slated for Demolition in February 2018. Demolition of 1123 was completed and debris was being removed. Access to the site was not possible.

Photograph #1: 1117 Butternut Street Front Elevation – Taken 2017



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #2: 1117 Butternut Street Side Elevation – Taken 2017



Photograph #3: 1117 Butternut Street Side Elevation – Taken 2017



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #4: 1117 Butternut Street Rear Elevation – Taken 2017



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #5: 1119 Butternut Street Front Elevation – Taken 2017



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #6: 1119 Butternut Street Side Elevation – Taken 2017



Photograph #7: 1119 Butternut Street Rear Elevation – Taken 2017



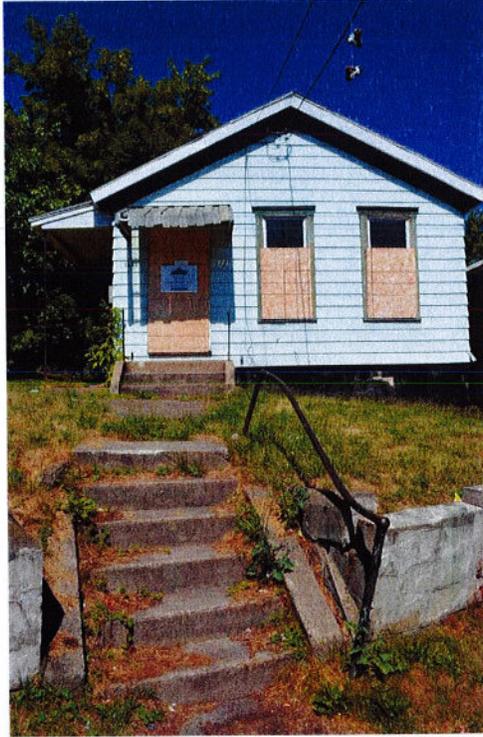
1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #8: 1119 Butternut Street Rear Elevation – Taken 2017



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #9: 1121 Butternut Street Front Elevation – Taken 2017

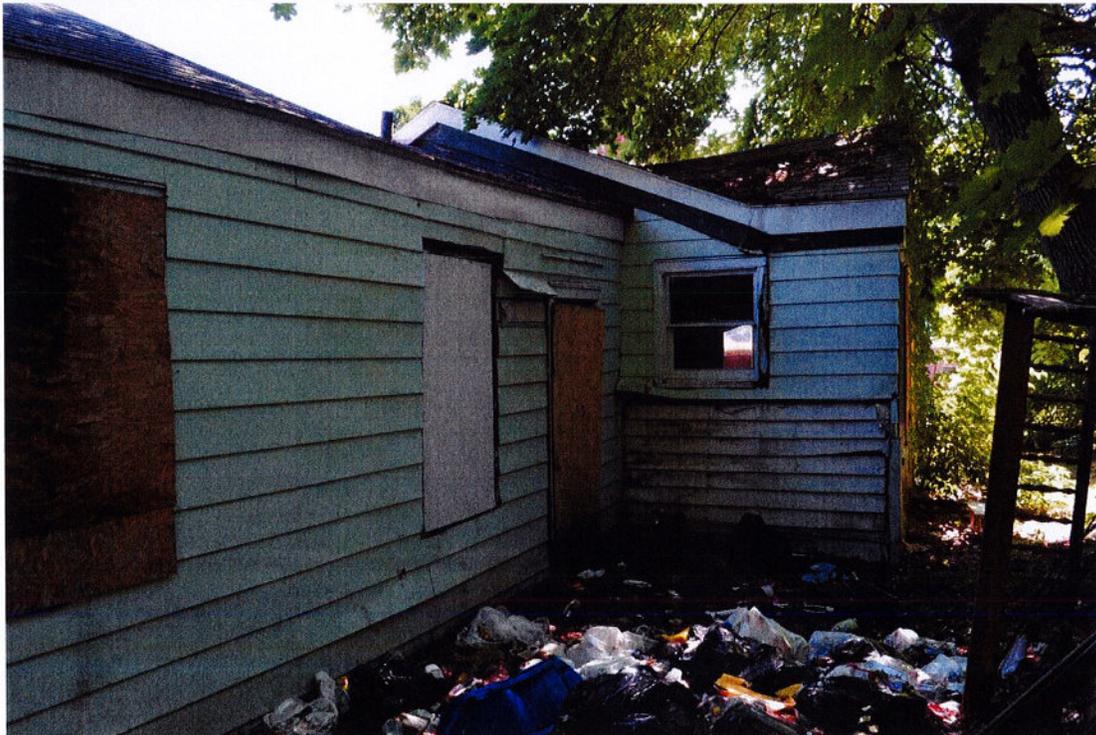


1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #10: 1121 Butternut Street Side Elevation – Taken 2017



Photograph #11: 1121 Butternut Street Side Elevation – Taken 2017

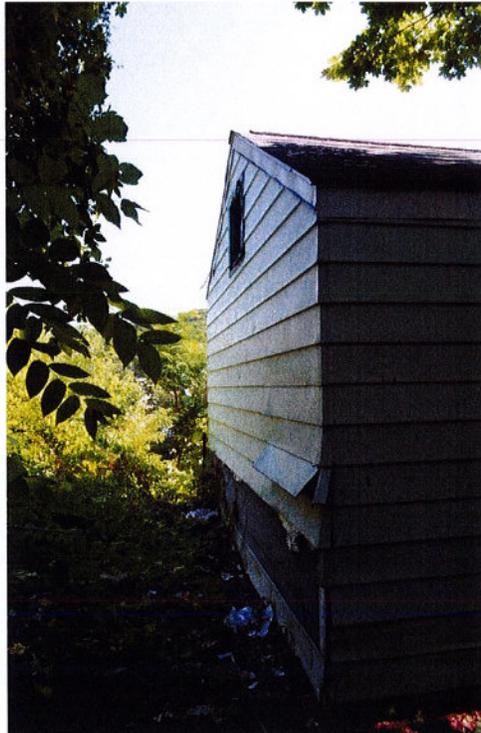


1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #12: 1121 Butternut Street Side Elevation – Taken 2017



Photograph #13: 1121 Butternut Street Rear Elevation



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #14: 1123 Butternut Street Front Elevation (Demolished Feb. 2018)



Photograph #15: 1123 Butternut Street Side Elevation (Demolished Feb. 2018)



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #16: 1123 Butternut Street Side Elevation (Demolished Feb. 2018)



Photograph #17: 1123 Butternut Street Rear Elevation (Demolished Feb. 2018)



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #18: 1123 Butternut Street Rear Elevation (Demolished Feb. 2018)



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #19:



Rear yard of 1117 is overgrown. It is not possible to see the existing fences at the property lines.

Photograph #20:



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #21:



Rear yard of 1119 Butternut impassable.

Photograph #22:



Rear yard of 1121 Butternut overgrown and impassable.

1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #23:



Photograph #24:



1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

Photograph #25:



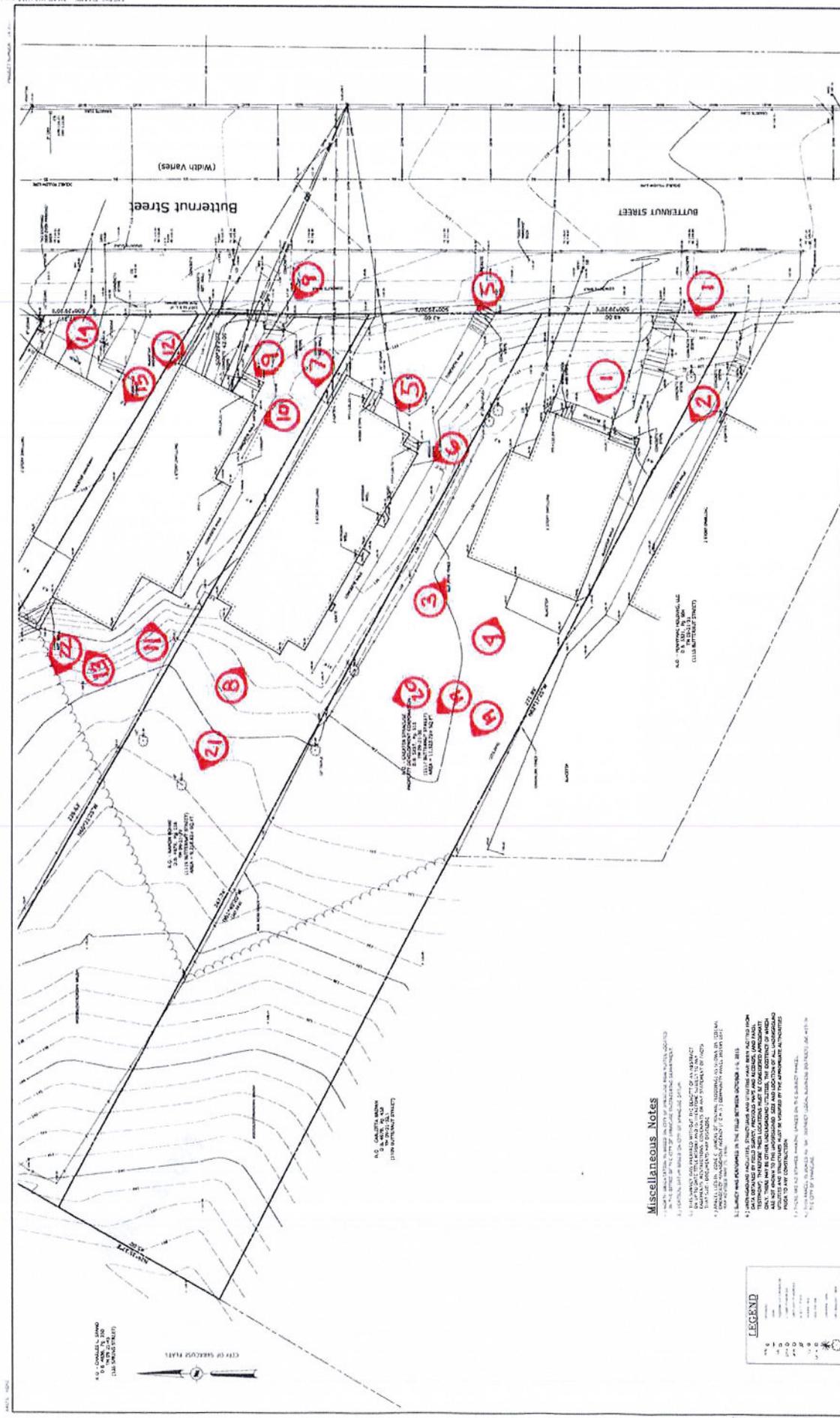
1117, 1119, 1121, & 1123 Butternut Street Existing Structure & Site Photographs

1117 and 1119 Butternut Street – February 2018.



1117, 1119, 1123 Butternut. Structure at 1123 Butternut has been demolished – February 2018.





U.S. GEODETIC SURVEY
 NAD 83
 (U.S. NATIONAL DATUM)



U.S. GEODETIC SURVEY
 NAD 83
 (U.S. NATIONAL DATUM)

Miscellaneous Notes

1. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
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21. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

LEGEND

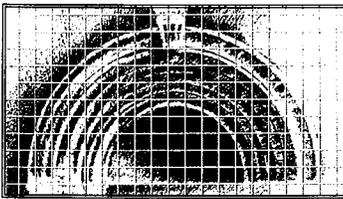
1	Property Boundary
2	Street Right-of-Way
3	Utility Line
4	Contour Line
5	Spot Elevation
6	Survey Point
7	Corner Marker
8	Iron Nail
9	Iron Pipe
10	Iron Rod
11	Iron Stake
12	Iron Spike
13	Iron Bolt
14	Iron Nut
15	Iron Washer
16	Iron Plate
17	Iron Sheet
18	Iron Pipe
19	Iron Rod
20	Iron Stake
21	Iron Spike

BOUNDARY AND TOPOGRAPHIC SURVEY MAP
 1117 BUTTERNUT STREET
 HOUSING VISIONS
 PART OF TWP. 48N. R. 10E. S. 17E.

C.T. MALE ASSOCIATES
 PROFESSIONAL SURVEYORS & ENGINEERS, P.C.
 1117 BUTTERNUT STREET, SUITE 100
 BUTTERNUT, WISCONSIN 53007
 PHONE: 262.338.1117
 FAX: 262.338.1118
 LICENSE NO. 13.03.17

DATE	10/24/15	REVISION RECORD/DESCRIPTION	MAP SCALE	1" = 40'
BY	CTM			
CHECKED				
APPROVED				
PROJECT NO.	15-001			
CLIENT	HOUSING VISIONS			
LOCATION	1117 BUTTERNUT STREET, BUTTERNUT, WISCONSIN			
PROJECT	BOUNDARY AND TOPOGRAPHIC SURVEY			
DATE	10/24/15			

CREATED BY: C.T. MALE ASSOCIATES
 DATE: 10/24/15
 PROJECT: 15-001
 CLIENT: HOUSING VISIONS
 LOCATION: 1117 BUTTERNUT STREET, BUTTERNUT, WISCONSIN



Holmes-King-Kallquist & Associates, Architects, LLP

575 North Salina Street, Syracuse, New York 13208

Phone: (315) 476-8371

Fax: (315) 476-5420

LETTER OF TRANSMITTAL

To: Housing Visions	Date:	26 Feb. 2018	Job No.	15046
1201 East Fayette Street	Attention:	Diana Jakimoski		
Syracuse, NY 13210	Re:	Butternut St.; Housing Visions		
Ph (315)				
Fax: (315)				

We are sending you: Attached Under Separate Cover Via: Pick up at HKK Reception

<input type="checkbox"/> Shop Drawings	<input type="checkbox"/> Inspection Report	<input type="checkbox"/> Specification/Scope
<input type="checkbox"/> Change Order	<input checked="" type="checkbox"/> Drawings	<input type="checkbox"/> Proposal
<input type="checkbox"/> Application for Payment	<input checked="" type="checkbox"/> Photographs	<input type="checkbox"/> Contract
<input checked="" type="checkbox"/> Variance Application		

Copies	Date	No.	Description
2	2/26/18		Completed Variance Application, with Photos (Streetscape and Building)
4			24x36 Drawing Sets L.00, L.04, L.05, L.10, A1.1 to A1.3, A2.1
1			11x17 Drawing Set L.00, L.04, L.05, L.10, A1.1 to A1.3, A2.1
1	2/26/18		Standard of Proof Letter

THESE ARE TRANSMITTED as checked below:

<input type="checkbox"/> For Review and Approval	<input type="checkbox"/> Approved as submitted	<input type="checkbox"/> Resubmit ___ copies for distribution
<input type="checkbox"/> As Requested	<input type="checkbox"/> Approved as noted	<input type="checkbox"/> Submit ___ copies for distribution
<input checked="" type="checkbox"/> For Your Use	<input type="checkbox"/> Returned for Corrections	<input type="checkbox"/> See Review Stamp for Comments
<input type="checkbox"/> For Payment	<input type="checkbox"/> See Review Stamp	<input type="checkbox"/> Returned for your files

REMARKS:

COPY TO:	File	SIGNED:	Mike Malda, Project Manager/lc
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Revised: 05/15/2006

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