

PLEASE TYPE OR PRINT (LEGIBLY)

For Office Use Only:	Application Number: V-	18 - 25
Tax map Section: 077	Block: 01	Lot: 01.2
	Zoning District:	RAA

1. Address of subject property: 411 West Colvin Street

2. Year property was purchased by current owner: 2002

3. Applicant/contact information:

a. Owner(s) (current titleholder):

Name(s): City of Syracuse

Mailing Address: Rm 130 City Hall

Zip: 13202 Daytime phone number: 448-8286 home phone number:

E-mail (alternate contact for additional information request): DClifford@syr.gov.net

b. Contract purchaser(s) [], Lessee [], or Co-applicant [] (if applicable)

*note: Copy of contract to purchase must be included with application if this contract purchaser or lessee applies.

Name(s): JENIFER HIGGINS, DEVELOPMENT MANAGER

Mailing Address: 180 CLINTON SQUARE, ROCHESTER, NY

Zip: 14604 Home phone number: 585-262-6210 Day Phone:

E-mail (alternate contact for additional information request): JENIFER.H1@HOMELEASING.NET

c. Representative: Attorney [], Architect [], Contractor [], Other [] (Only if involved in this application)

Name(s):

Mailing Address:

Zip: Telephone number:

4. Current use of property: (i.e., 1 family, 2 family, grocery store, etc.):

Vacant former school building

Proposed use and occupancy of property: 54 dwelling units

Senior housing

Current number of onsite (off-street) parking spaces:

Proposed number of onsite (off-street) parking spaces:

Days and hours of operation (for any business uses):

Explain in detail what (if any) new additions or construction is proposed on the site:
Renovate into housing units for limited income senior citizens

Reason for request:

The courts have distinguished between use variances (for uses which are not permitted) and area variance (for excess lot coverage, additions into required yards, etc.). Be aware that *the standards of proof for a use variance are much more demanding* than for an area variance and that *the burden is on the applicant* to provide such proof in arguing their case. (See Standard of Proof requirements on required submittal page.)

Use additional sheets of paper to present proof if necessary.

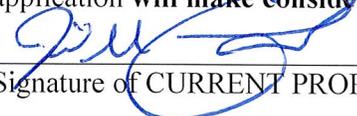
The subject property has been vacant for over ~~8~~ years. It ^{had been} rented by the City School District and then acquired in 2002 for swing space during other school building renovations. The School District discontinued use and relinquished control to the City in 2009. Although a number of individuals have expressed interest in acquiring all or part of the property, no viable proposals were received until the recent offer by Home Leasing LLC in June of 2016. This company has a good track record renovating underutilized buildings into ^{quality} affordable housing. They plan to completely rehabilitate the property into affordable senior citizen multi-unit housing, which is not permitted in an RAA zone without a variance.

The following affirmation must be signed and dated by the CURRENT PROPERTY OWNER or the owner's LEGAL representative (attorney, power of attorney, partner in the business, etc.).

DECLARATION

I understand that false statements made herein are **punishable as a Class A Misdemeanor, pursuant to section 210.45 of the Penal Law of the State of New York.** I declare that, subject to the penalties of perjury, any statements made on this application and any attachments are the truth and to the best of my knowledge correct.

I also understand that any false statements and/or attachments presented knowingly in connection with this application **will make consideration of this application null and void.**

 Commissioner of Assessment
Signature of CURRENT PROPERTY OWNER (or owner's LEGAL representative) Date

David M. Clifford

Printed or typed name of person whose signature is above (if legal representative, also state relationship to owner).



OFFICE OF ZONING ADMINISTRATION
Ben Walsh, Mayor

REFERRAL COMMENTS

08/07/2018

Variance (Use): V-18-25
Address: 411 COLVIN ST W, Syracuse,

Request:
Establish senior apartments in an RAA zone.

The departments and/or Boards below have reviewed the above application and provided the following comments for your information and action as appropriate.

Approval	Status	Status Date	Reviewer	Comments
DPW Street Repair - Zoning	Internal Review Complete	07/25/2018	Kevin Hunter	Must meet all city specs
DPW Commissioner - Zoning	Pending	07/26/2018		Waiting for a determination of the "City of Syracuse" easements
DPW Sewers - Zoning	Internal Review Complete	07/25/2018	Vinny Esposito	Parking lot reconstruction will require grading plan. All building sewer laterals must be inspected to determine condition and capacity. If needed laterals will have to be repaired or reconstructed to the main sewer by the developer.
DPW Sidewalks - Zoning	Pending	07/23/2018		
Eng. Design & Cons. - Zoning	Internal Review Complete	08/03/2018	John Kivlehan	No objection to variance. Development/sitework will be subject to City plan review, approval & permitting as required. Project may be subject to City SWPPP, stormwater requirements and or County 1:1 offset requirement as determined by City Engineering during plan/permitting review.
City Engineer - Zoning	Pending	07/23/2018		
Eng. Mapping - Zoning	Internal Review Complete	07/31/2018	Ray Wills	****7/31/18*** While the variance proposed would have no impact on Mapping Division assets. The proposed plans does bring up some questions, primarily with the ingress/ egress easement from Fage over the church lot, there is nothing in the legal description that indicates that this easement is transferrable, to successors or designates as is the case with the easement on Colvin. I believe an inquiry to the law dept may be in order to determine if the City would retain the easement or if it would transfer to the new property owners. In addition, would the installation of raised curbing and plantings (installation #7 on the proposed site plan) restrict ingress requiring anyone entering to have to

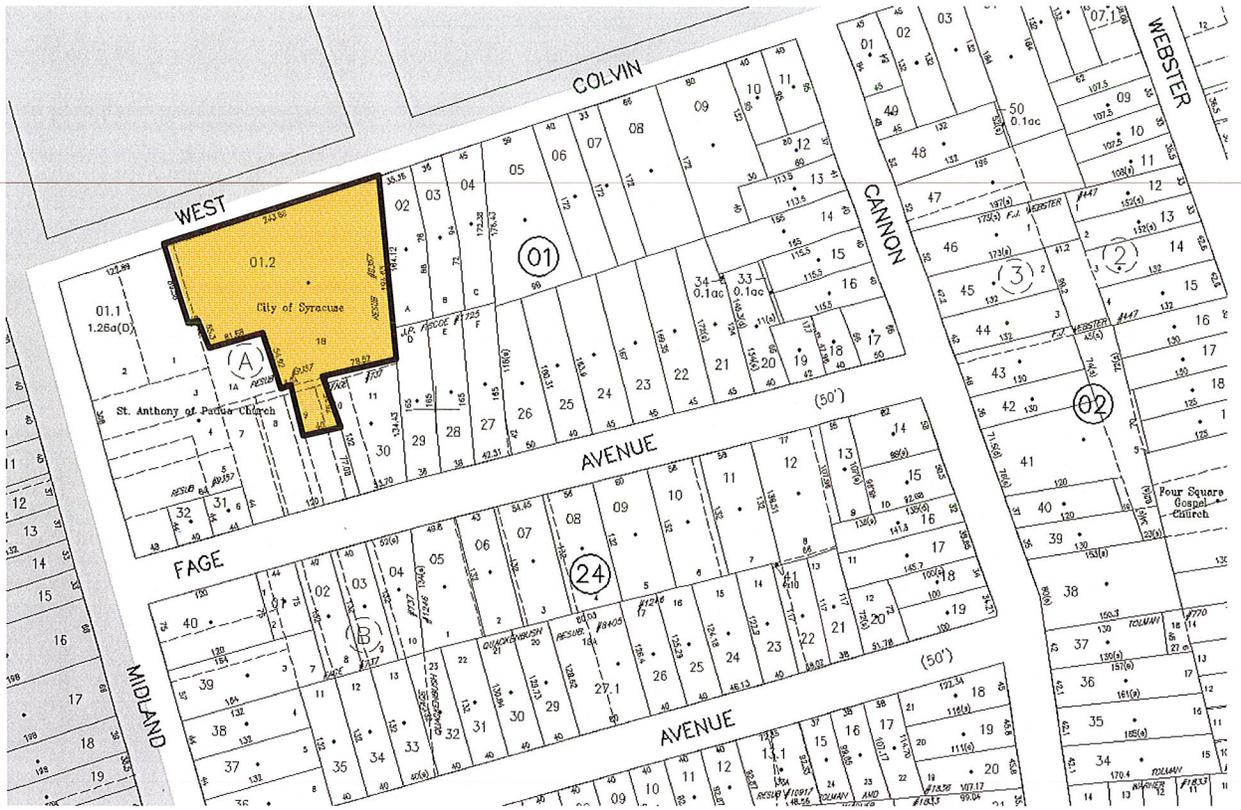
"trespass" onto church property in order to enter the lot to use the easement? Also is there a shared lot agreement? These questions should be answered prior to any permits being issued as the answers may require redesign or further work.

****7/23/18****Research is being done to determine the specifics of the City of Syracuse Easements that are on site, and if the proposed site work is allowable under the conditions of those easements. 7/25

DPW - Transportation Planner	Internal Review Complete	08/02/2018	Neil Milcarek-Burke	Details regarding easement should be addressed to satisfy all department comments. DPW Transportation has no concerns with this variance.
DPW Traffic Control-Zoning	Internal Review Complete	07/24/2018	Jim French	no concerns
Water Engineering - Zoning	Pending	07/23/2018		

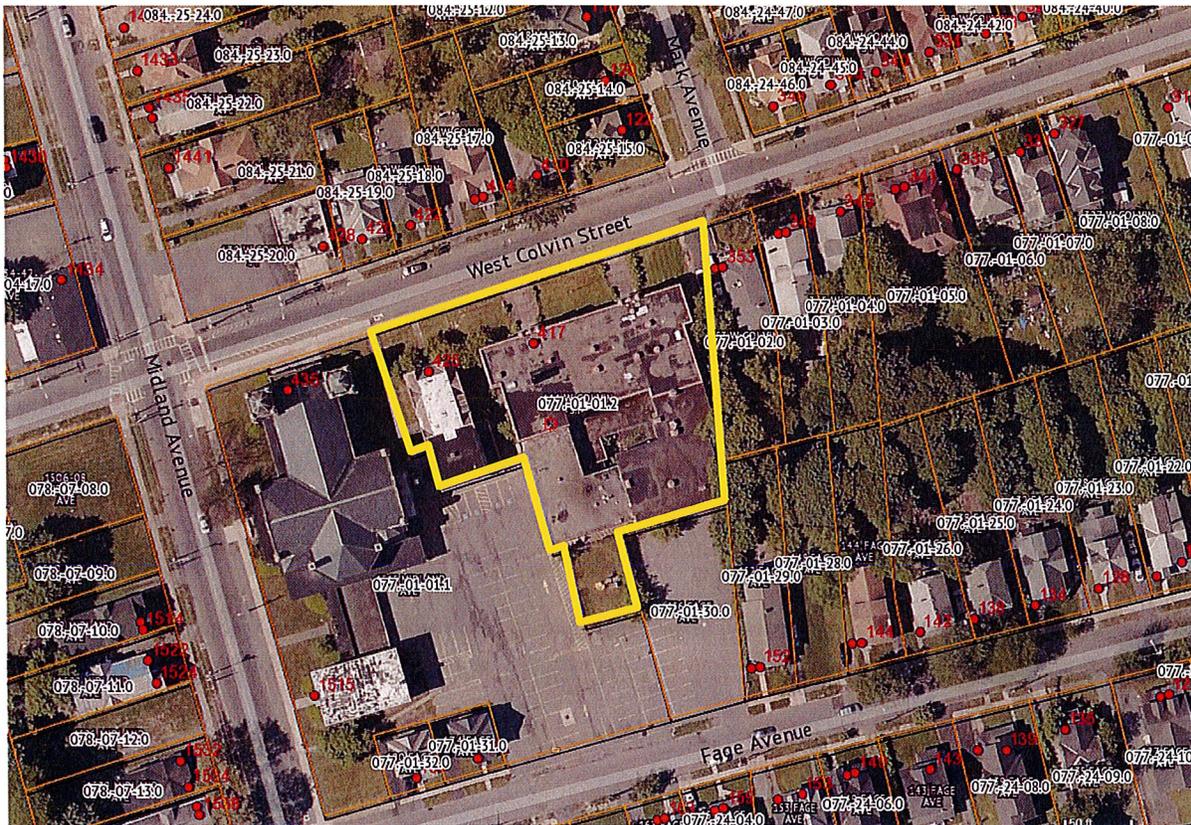
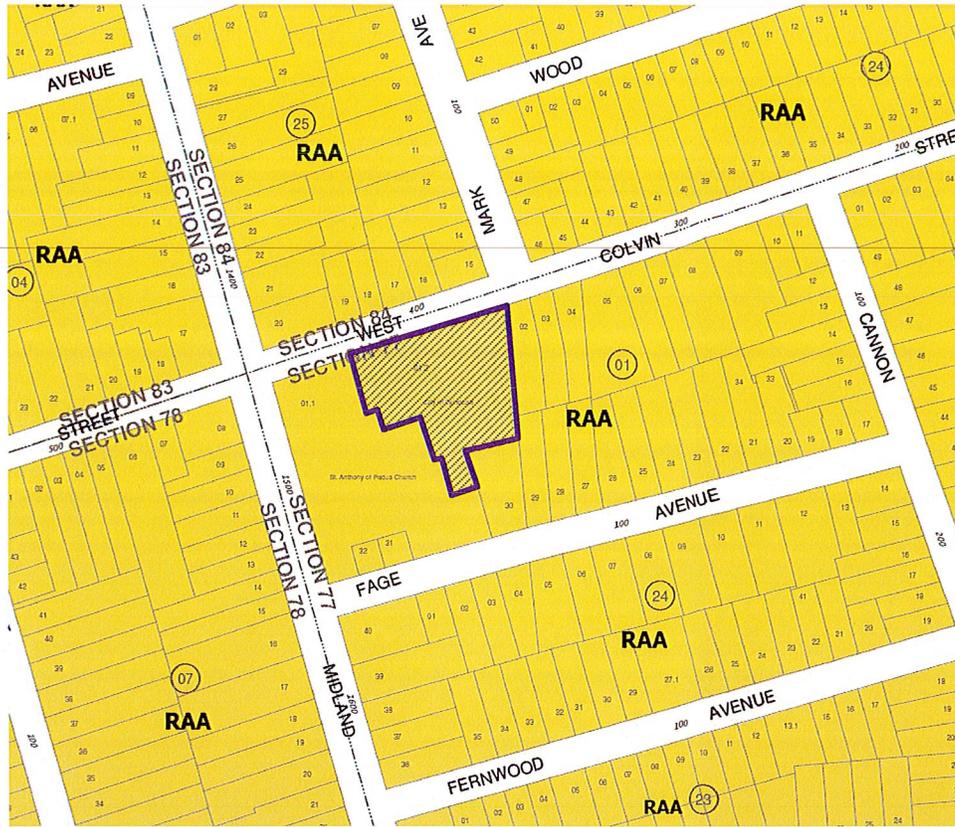
411 WEST COLVIN STREET

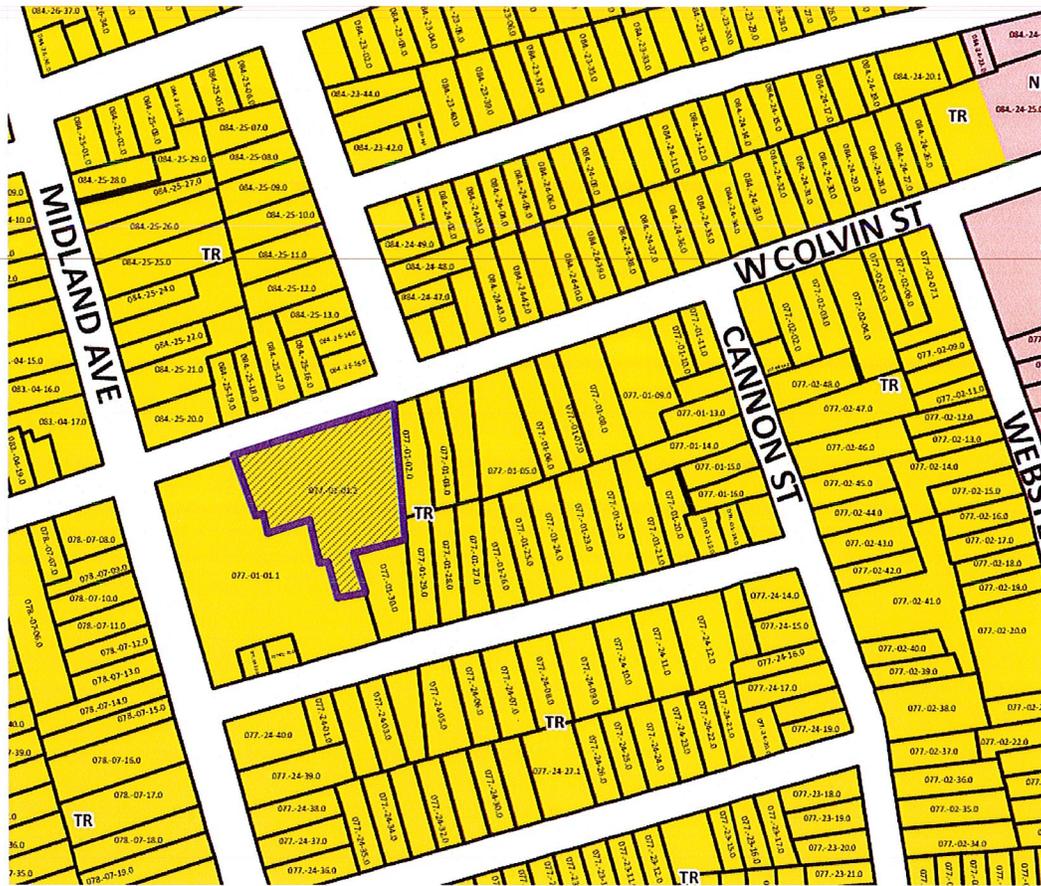
V-18-25



411 WEST COLVIN STREET

V-18-25





Traditional Residential (Single- and Two-Family)

These neighborhoods developed earlier in the streetcar era and include a mix of single- and two-family detached residences. The majority of housing in these areas was developed between the late-1800s and the 1920s. These typically have smaller setbacks, narrower lots, and more lot coverage than the “suburban” models that followed. Like the Streetcar Residential areas, garages are typically not attached and do not figure prominently on the primary elevation of the house. Building massing and windows are typically vertically oriented.

The two-story porch, so common throughout Syracuse, is a significant element throughout these neighborhoods. The most common are typically from the early 1900s and are built in a wide variety of styles including Colonial and Classical Revivals. Victorian-era neighborhoods, developed a few decades earlier, have different residential forms, although many of these include one-over-one, “flat-style” duplexes, as well. Many homes from this era were built as two-family homes, but larger Victorians have often been subdivided into multiple units.

These areas are typically tightly clustered around neighborhood commercial areas, which often form the spine of the neighborhood.

July 19th 2018



Syracuse Board of Zoning Appeals

201 East Washington Street, Rm 212
Syracuse, New York 13202-1426
Office: 315-448-8640
zoning@ci.syracuse.ny.us

Re: Syracuse Board of Zoning Appeals Application: St. Anthony's School & Convent
Nature of Business Statement

To Whom it may Concern,

St. Anthony's School and Convent is proposed to be converted from a vacant school and convent into 54 units of affordable senior housing, to be owned, constructed and managed by Home Leasing, LLC, a developer, and owner of mixed-income housing, based in Rochester, NY.

As an independent, residential community, the buildings will be in operation 24 hours/day, providing housing for 54 senior households. Property Management and Maintenance staff will be on-site during regular business hours, 5 days/week. Emergency maintenance will also be available for any maintenance emergencies 24/7.

Home Leasing will have up to 3 employees on site at any point in time. Nascentia Health, who has applied for Empire State Supportive Housing Initiative funding to provide supportive services for 26 of the 54 households, may have up to 10 on-site staff at any given time.

There is no expectation of any items to be sold on-site, and there will be no selling of food prepared on-site.

Attached plans dated 07/16/18 with additional documentation.

Very truly yours,
Keplinger Freeman Associates

A handwritten signature in black ink, appearing to read 'Scott L. Freeman', with a stylized flourish at the end.

Scott L. Freeman, R.L.A. ASLA

DENIAL OF PERMIT

REFERENCE ADDRESS 411 W. Colvin Street

WARD NO. _____

OWNER City of Syracuse

OWNER'S ADDRESS 233 E Washington St. Rm 130

TELEPHONE 315-448-8286

APPLICATION FOR PERMIT TO:

erect () convert () maintain () operate ()

School to Multi-family dwelling

DENIED UNDER ARTICLE (s) B-1-4

Not permitted of the zoning ordinance for the following reasons: Use

PLANS ATTACHED, APPROVED BY _____
ON _____

LOCATION OF REFERENCE ADDRESS:
ASSESSOR'S ATLAS

SURVEY ATTACHED

BOOK (S) NO. _____

ZONING REVIEWED BY _____

PLATE (S) NO. _____

PARCEL (S) NO. _____

DATE 8-9-18

SIGNATURE Gail L Swistak

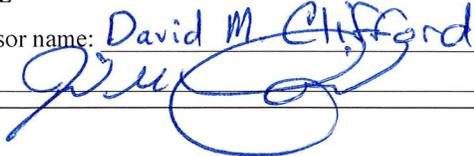
617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: St. Anthony's School			
Project Location (describe, and attach a location map): 411 West Colvin Street Syracuse, NY			
Brief Description of Proposed Action: 			
Name of Applicant or Sponsor: City of Syracuse, David Clifford, Comm.		Telephone: 448-8286	
Address: Rm 130 City Hall		E-Mail:	
City/PO: Syracuse		State: NY	Zip Code: 13202
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		0.875 acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other (specify): Church (st. Anthony's) <input type="checkbox"/> Parkland			

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor name: <u>David M Clifford</u>		Date: <u>1/19/17</u>
Signature: 		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
_____	_____
Name of Lead Agency	Date
_____	_____
Print or Type Name of Responsible Officer in Lead Agency	Title of Responsible Officer
_____	_____
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)

PRINT

USE VARIANCE REQUEST PERTAINING TO 411 W COLVIN ST, SYRACUSE, NY 13205

RE: St. Anthony's School Redevelopment Project

STANDARDS OF PROOF

The property at 411 W Colvin Street is currently two structures, including both school and convent buildings formerly owned and operated by the Roman Catholic Diocese of Syracuse. The property was acquired by the Syracuse City School District in 2002 and was occupied as temporary classroom space for several years, until the School District ceased operations at the property. The property has been vacant since 2009, when control of the property was granted to the City of Syracuse.

A. Operation of the property as any of the allowed uses in the RAA zoning district is infeasible, given the property's current configuration and the extensive repairs required of the existing structure. Of the allowed uses for the RAA zoning designation, each is infeasible for the following reasons:

Single and Two Family Dwellings: The property is currently two structures which are National Register eligible. Development of the property as single- and two-family housing would require the demolition of the structures, which would be detrimental to the character of the neighborhood, and the cost of redevelopment of the property would exceed the current value of the property.

Churches, Parish Houses, Schools and Convents: Operation of the property as any of these permitted uses is demonstrably infeasible given the history of the property's ownership. The Diocese and the Syracuse City School District separately ceased operations when the property's continued use was no longer financially feasible for either.

Private Swimming Pools and Public Golf Courses: Again, the property's current configuration would require demolition of the structures in order for redevelopment as either of these permitted uses, with the cost of redevelopment exceeding the value of the property.

Family Day Care or Day Care Center: The extensive repairs required of the building, estimated at \$15 million in renovation costs for the current development proposal, demonstrates the significant repairs needed to restore the structures to safe, habitable and code compliant operation. The revenue generated from a family day care or day care center would not support this cost.

On-site Parking, Private Garages, Storage of Trailers: Again, the property's current configuration would require demolition of the structures in order for redevelopment as any of these permitted uses, with the cost of redevelopment exceeding the value of the property.

B. The property's circumstance is unique given its current ownership and vacancy. As the property was identified as no longer feasible for operation as a school facility in 2009, it has been vacant for the past 9 years. The ongoing maintenance costs and the cost of necessary structural repairs to the structures have

prohibited continued operations at the property both on the part of the Diocese and later the Syracuse City School District. Operation of the property as a school facility would be duplicative of the services offered at McKinley-Brighton Elementary School and Danforth Middle School.

Upon making the property available for sale, the City of Syracuse received only one offer to purchase the property from the Co-Applicant named here, Home Leasing, Inc., whose proposal is to maintain the existing historic properties for redevelopment as senior housing. There are no other such structures in the neighborhood which would prove feasible for this investment and provision of services needed by the neighborhood. The nearest senior housing facility is more than two miles from the site and does not satisfy the need for affordable housing faced by the neighborhood's senior population.

C. If granted, the variance will not alter the essential character of the neighborhood. The project specifically seeks to redevelop the existing historic structures and will preserve their character and architectural integrity. The Co-Applicant anticipates seeking Federal Historic Rehabilitation Tax Credits to provide funding to the project, which demonstrates their express intention to preserve the structures and neighborhood character found at the site.

D. The hardship is not self-created, as the Applicant, the City of Syracuse, will not ultimately develop the property if the use variance should be granted. As the current owner, the City has been unable to identify feasible uses for the property and thus sought to sell the property to a willing party. The City's Property Sales Review Committee recognizes that the use variance must be granted in order for the sale and redevelopment of the property to proceed.

Syracuse Board of Zoning Appeals Application
Nature of Business Statement

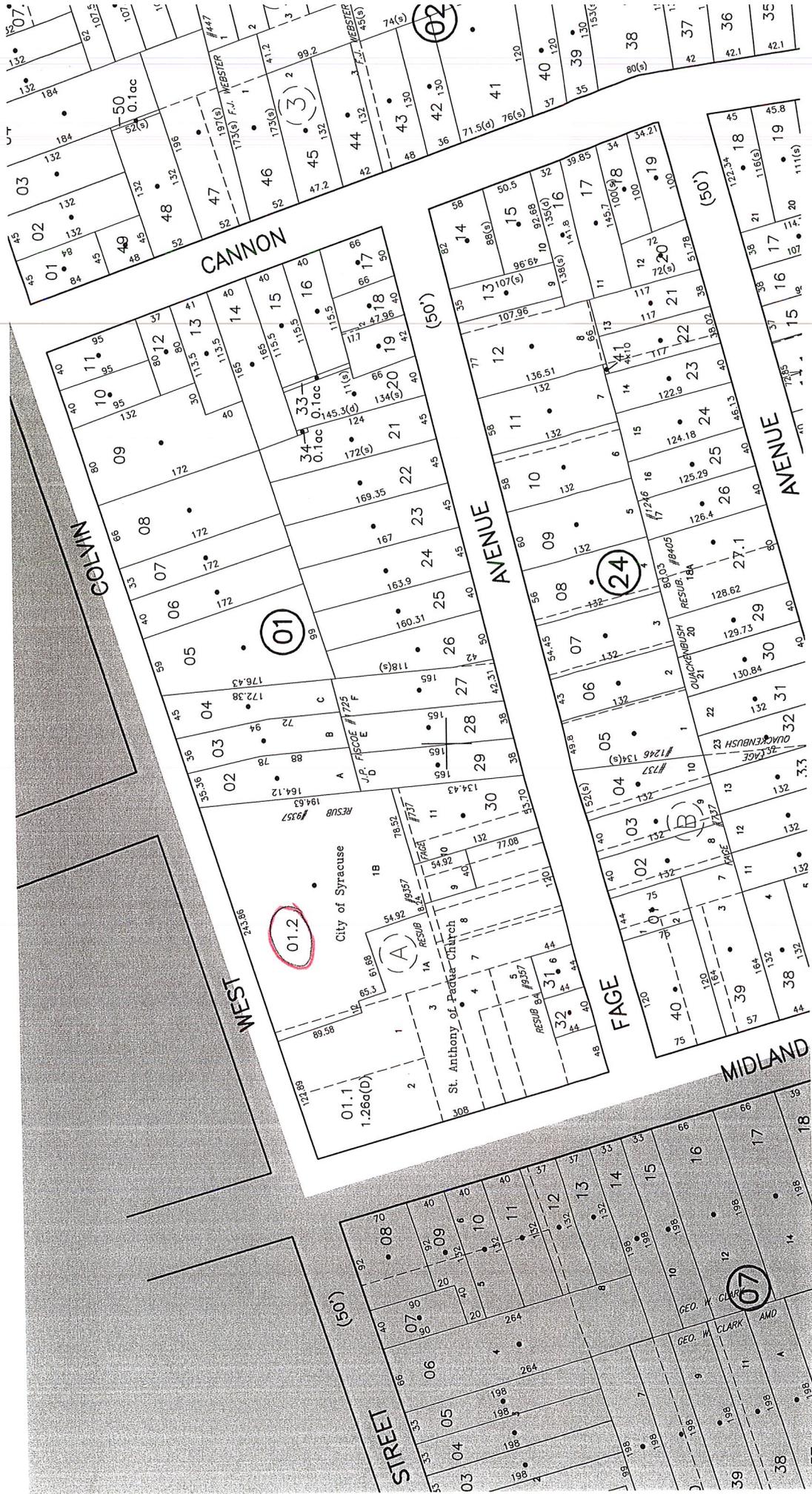
St. Anthony's School & Convent
7/17/18

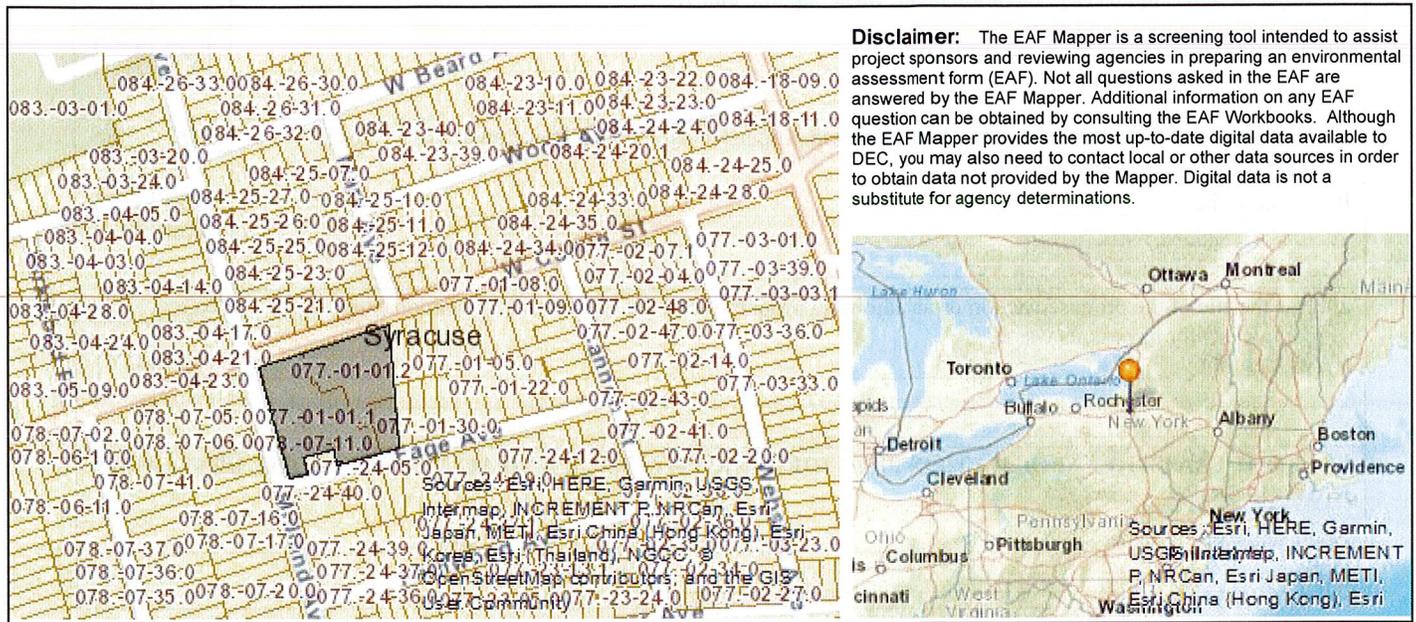
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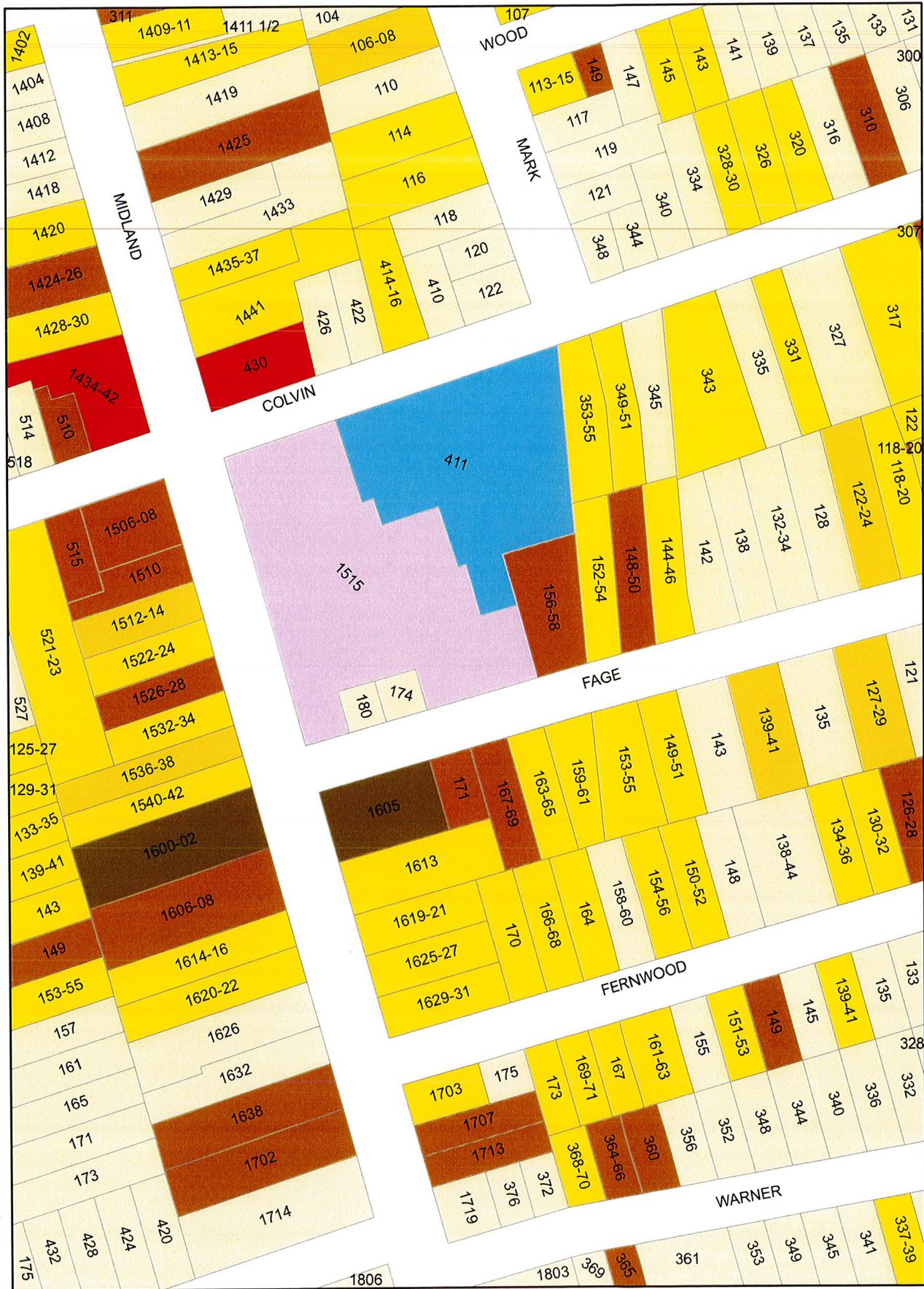




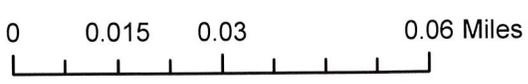
Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

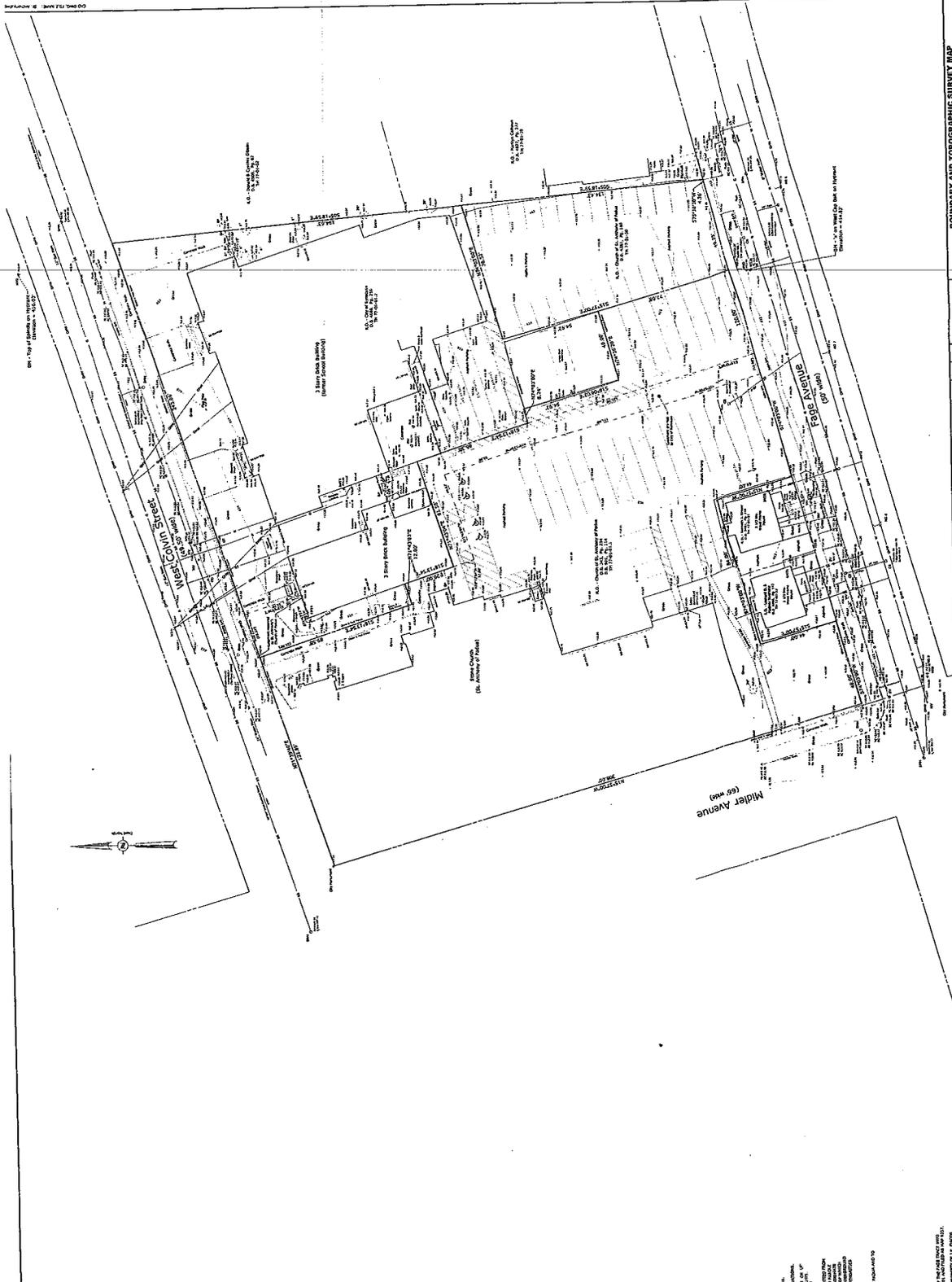
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

411 Colvin St W- St. Anthony's



- Legend**
- city_streets
 - 06-20-2015t
 - <all other values>
 - LandUse**
 - Commercial
 - Parks
 - Cemetery
 - Recreation
 - Community Services
 - Religious
 - Schools
 - Single Family
 - Two Family
 - Three Family
 - Multiple Residence
 - Apartment
 - Parking
 - Utilities
 - Vacant Land
 - Industrial





LEGEND

1	BOUNDARY
2	TOPOGRAPHIC
3	UTILITY
4	CONCRETE
5	ASPHALT
6	GRAVEL
7	DIRT
8	WOOD
9	IRON
10	STEEL
11	COPPER
12	ZINC
13	LEAD
14	ALUMINUM
15	BRASS
16	STEEL PIPE
17	IRON PIPE
18	COPPER PIPE
19	ZINC PIPE
20	LEAD PIPE
21	ALUMINUM PIPE
22	BRASS PIPE
23	STEEL WIRE
24	IRON WIRE
25	COPPER WIRE
26	ZINC WIRE
27	LEAD WIRE
28	ALUMINUM WIRE
29	BRASS WIRE
30	STEEL ROD
31	IRON ROD
32	COPPER ROD
33	ZINC ROD
34	LEAD ROD
35	ALUMINUM ROD
36	BRASS ROD
37	STEEL BAR
38	IRON BAR
39	COPPER BAR
40	ZINC BAR
41	LEAD BAR
42	ALUMINUM BAR
43	BRASS BAR
44	STEEL SHEET
45	IRON SHEET
46	COPPER SHEET
47	ZINC SHEET
48	LEAD SHEET
49	ALUMINUM SHEET
50	BRASS SHEET

NOTES

1. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT, P.S. 19-101.
2. THE SURVEY WAS CONDUCTED ON THE 15TH DAY OF APRIL, 2018, AT THE CITY OF PHOENIX, ARIZONA.
3. THE SURVEY WAS CONDUCTED BY C.T. WALE ASSOCIATES, INC., A PROFESSIONAL ENGINEERING FIRM.
4. THE SURVEY WAS CONDUCTED FOR THE CHURCH OF ST. ANTHONY'S OF PADUA & CITY OF STYACINE.
5. THE SURVEY WAS CONDUCTED FOR THE LOT 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
6. THE SURVEY WAS CONDUCTED FOR THE LOT 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
7. THE SURVEY WAS CONDUCTED FOR THE LOT 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
8. THE SURVEY WAS CONDUCTED FOR THE LOT 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
9. THE SURVEY WAS CONDUCTED FOR THE LOT 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
10. THE SURVEY WAS CONDUCTED FOR THE LOT 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

CHURCH OF ST. ANTHONY'S OF PADUA & CITY OF STYACINE
 1515 MIDLER AVENUE & 411 WEST COURT STREET
 PHOENIX, ARIZONA 85016
 C.T. WALE ASSOCIATES
 1515 MIDLER AVENUE & 411 WEST COURT STREET
 PHOENIX, ARIZONA 85016
 DATE: 10/12/2018



DATE	REVISION	DESCRIPTION
10/12/2018	1	INITIAL SURVEY
	2	REVISIONS
	3	REVISIONS
	4	REVISIONS
	5	REVISIONS
	6	REVISIONS
	7	REVISIONS
	8	REVISIONS
	9	REVISIONS
	10	REVISIONS

BOUNDARY AND TOPOGRAPHIC SURVEY MAP
 CHURCH OF ST. ANTHONY'S OF PADUA & CITY OF STYACINE
 1515 MIDLER AVENUE & 411 WEST COURT STREET
 CITY OF PHOENIX
 LOT 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
 C.T. WALE ASSOCIATES
 1515 MIDLER AVENUE & 411 WEST COURT STREET
 PHOENIX, ARIZONA 85016
 DATE: 10/12/2018

ST. ANTHONY APARTMENTS

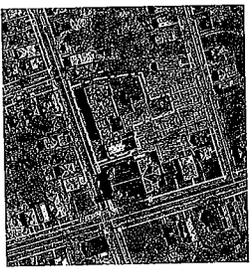
PROGRESS SET: NOT FOR CONSTRUCTION
 July 19, 2018

411 W. COLVIN ST
 SYRACUSE, N.Y. 13205

SWBR Project # 18330.00

Drawing Index

- General:**
 - G-001 Title Sheet and Project Data
 - G-002 Code Notes, Legends and Abbreviations
 - G-003 Code Compliance Drawings and Fire Safety Plans
 - G-004 Code Compliance Drawings and Fire Safety Plans
- Landscaping:**
 - L-101 Site Plan
- Architectural:**
 - A-100 Basement Demolition Plan
 - A-101 First Floor Demolition Plan
 - A-102 Second Floor Demolition Plan
 - A-103 Third Floor Demolition Plan
 - A-104 Roof Demolition Plan
 - A-110 Basement Plans
 - A-111 First Floor Plan
 - A-112 Second Floor Plan
 - A-113 Third Floor Plan
 - A-120 Roof Plan
 - A-121 Roof Details
 - A-122 Roof Details
- MEP & Fire Protection:**
 - A-131 Reflected Ceiling Plans - Basement
 - A-132 Reflected Ceiling Plan - First Floor
 - A-133 Reflected Ceiling Plan - Second Floor
 - A-134 Reflected Ceiling Plan - Third Floor
 - A-201 Elevator Elevations
 - A-202 Elevator Elevations
 - A-203 Elevator Elevations
 - A-204 Courtyard Elevations
 - A-421 Enlarged Plans - Convent
 - A-422 Enlarged Plans - Convent
 - A-423 Enlarged Plans - Convent
 - A-424 Enlarged Plans - Convent
 - A-425 Enlarged Plans - School Basement
 - A-426 Enlarged Plans - School First Floor
 - A-427 Enlarged Plans - School First Floor
 - A-428 Enlarged Plans - School First Floor
 - A-429 Enlarged Plans - School First Floor
 - A-430 Enlarged Plans - School Second Floor
 - A-431 Enlarged Plans - School Second Floor
 - A-432 Enlarged Plans - School Second Floor
 - A-433 Enlarged Plans - School Third Floor
 - A-434 Enlarged Plans - School Third Floor
 - A-435 Enlarged Plans - School Third Floor



REGIONAL MAP

LOCATION MAP



Architect & Structural Engineer:
 SWBR
 309 S Franklin St
 Syracuse, NY 13202
 315.488.5655

Civil Engineer & Landscape Architect:
 Keplinger Freeman Associates
 6320 Fly Road, Suite 109
 East Syracuse, NY 13057
 315.445.7980

MEP & Fire Protection Engineer:
 M/E Engineering, PC
 150 North Chestnut Street
 Rochester, NY 14604
 585.288.5590

Owner:
 Home Leasing
 180 Clinton Square
 Rochester, NY 14604
 585.262.6210

UNIT MATRIX

UNITS BY TRADE	MEP	STRUCT	LANDSCAPE	TOTALS
MEP	1	0	0	1
STRUCT	0	1	0	1
LANDSCAPE	0	0	1	1
TOTALS:	1	1	1	3

* INCLUDING AREA CONTAINED WITHIN FINISHED FACE OF EXTERIOR WALL SURFACES AND/OR FINISH SURFACES OF COMMON WALLS PER FINISH JOISTING. EXCLUDES SPACES PER FINISH JOISTING.

ST. ANTHONY APARTMENTS
 411 W. COLVIN ST.
 SYRACUSE, NY 13205
 SWBR Project Number 18330.00

HOME LEASING
 180 CLINTON SQUARE
 ROCHESTER, NY 14604

G-000
 Title Sheet and Project Data

July 19, 2018
 NOT FOR CONSTRUCTION

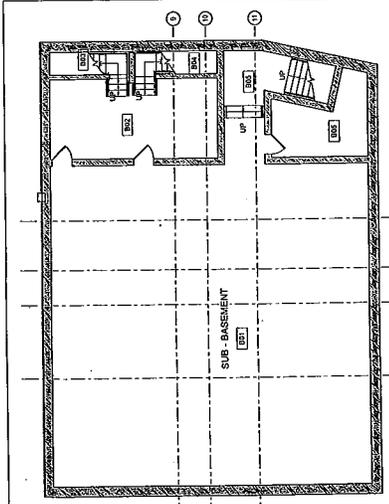
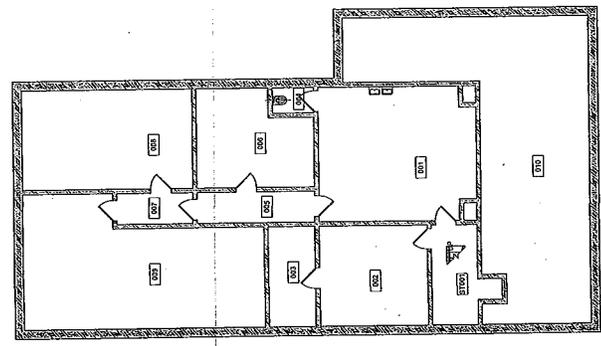
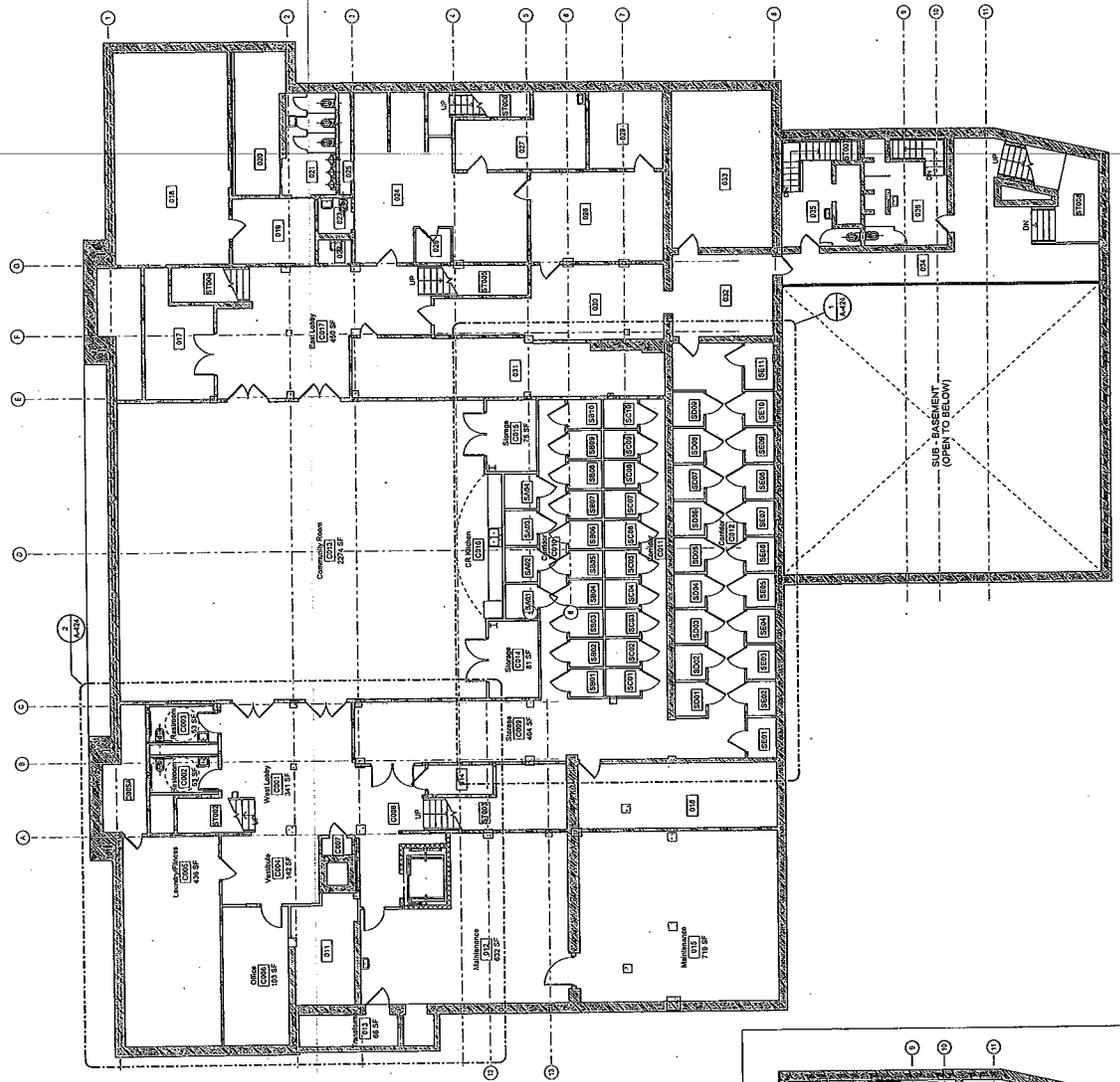


Drawn By: SP
 Checked By: JAC
 Date: 07/13/2018
 Project Name: ST. ANTHONY APARTMENTS
 Project Number: 180200
 Scale: 1/8" = 1'-0"
 Revision:
 1. 07/13/2018 JAC/SP

ST. ANTHONY APARTMENTS
 180 CLAYTON SQUARE
 ROCHESTER, N.Y. 14604

A-110
 Basement Plans

NOT TO SCALE
 PROCESS SET
 NOT FOR CONSTRUCTION



1 Basement Plan
 1/8" = 1'-0"

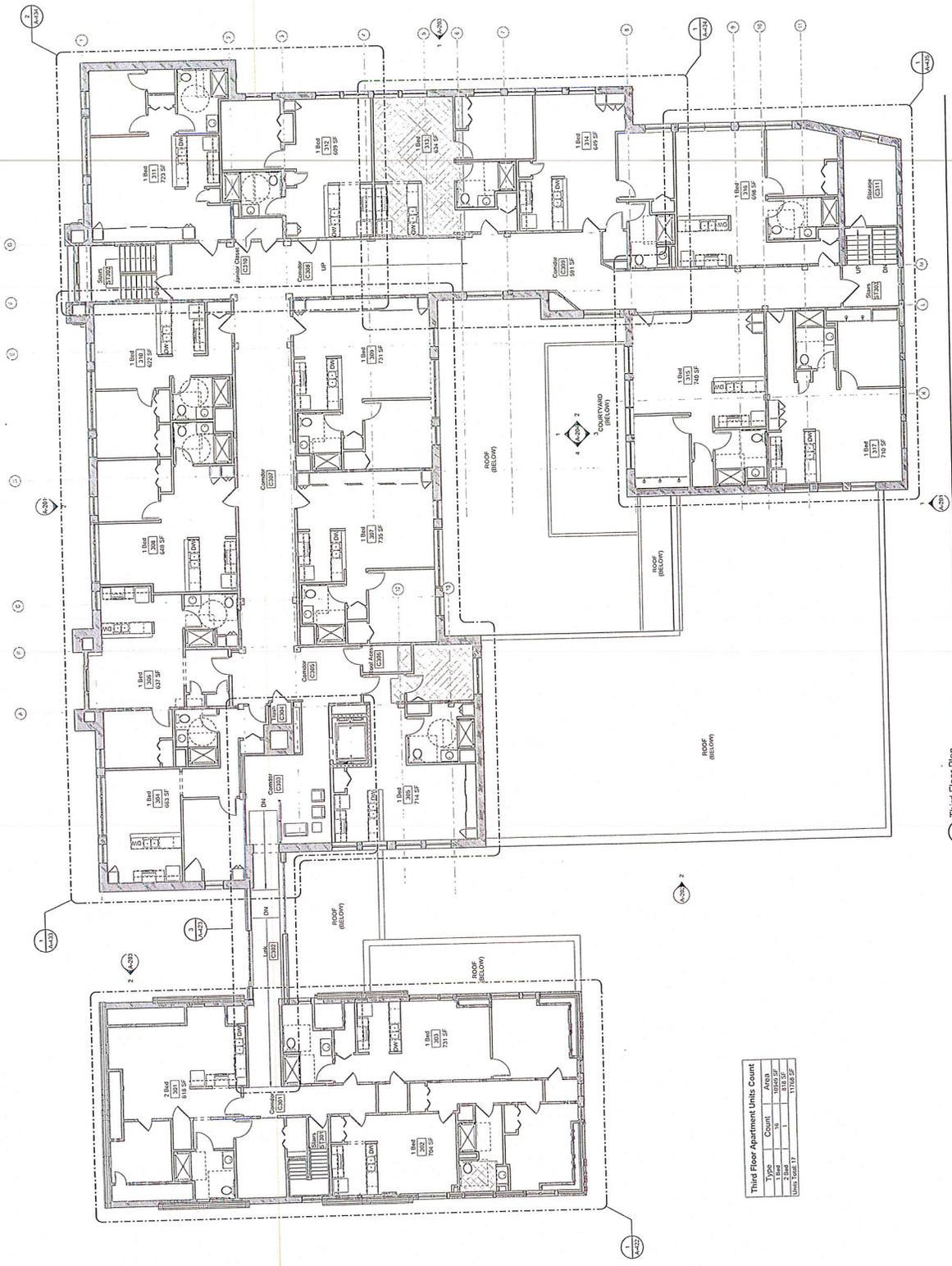
2 Sub-Basement Plan
 1/8" = 1'-0"



Drawn By: VS
 Checked By: RP
 Project Manager: ML
 Date: 7/13/2018
 Project: ST. ANTHONY APARTMENTS
 SWBR Project Number: 132303-00
 Model: LEASING
 Location: ST. ANTHONY APARTMENTS
 ROCHESTER, N.Y. 14604
 Revision:

A-113
 Third Floor Plan

July 19, 2018
 PROGRESS SET
 NOT FOR CONSTRUCTION



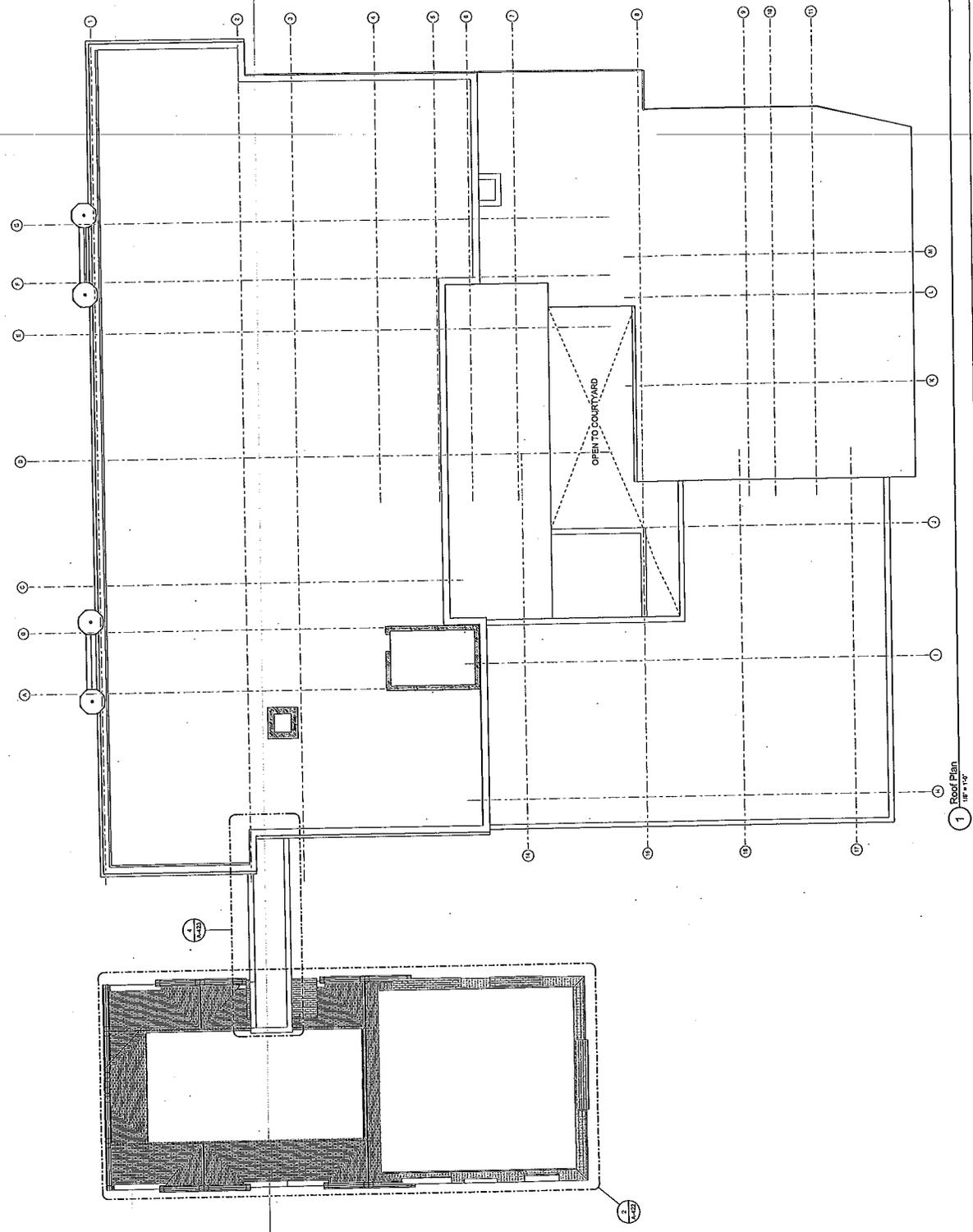
Third Floor Apartment Units Count

Type	Count	Area
1 Bed	10	10,043 SF
2 Bed	1	810 SF
Units Total	11	11,153 SF

1 Third Floor Plan
 1/8" = 1'-0"



Drawn By:	RP
Checked By:	NM
Project Number:	100000
Revision:	
ST. ANTHONY APARTMENTS 100 CLINTON SQUARE ROCHESTER, N.Y. 14604	
A-120	
Roof Plan	
DATE: 03/15/17	
PROCESS SET	
NOT FOR CONSTRUCTION	



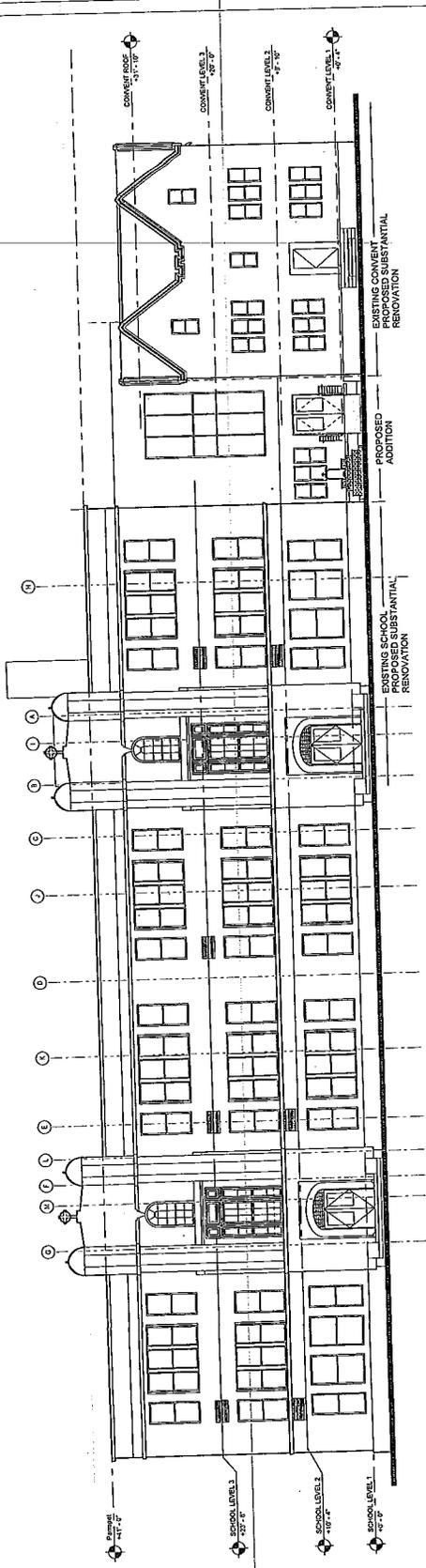
1 Roof Plan
1/8" = 1'-0"

Client For:	RP
Checked By:	NM
Project Manager:	ML
Architect:	SWBR
Engineer:	SWBR
Contractor:	SWBR
Subcontractors:	SWBR
Permitted:	SWBR
Notes:	

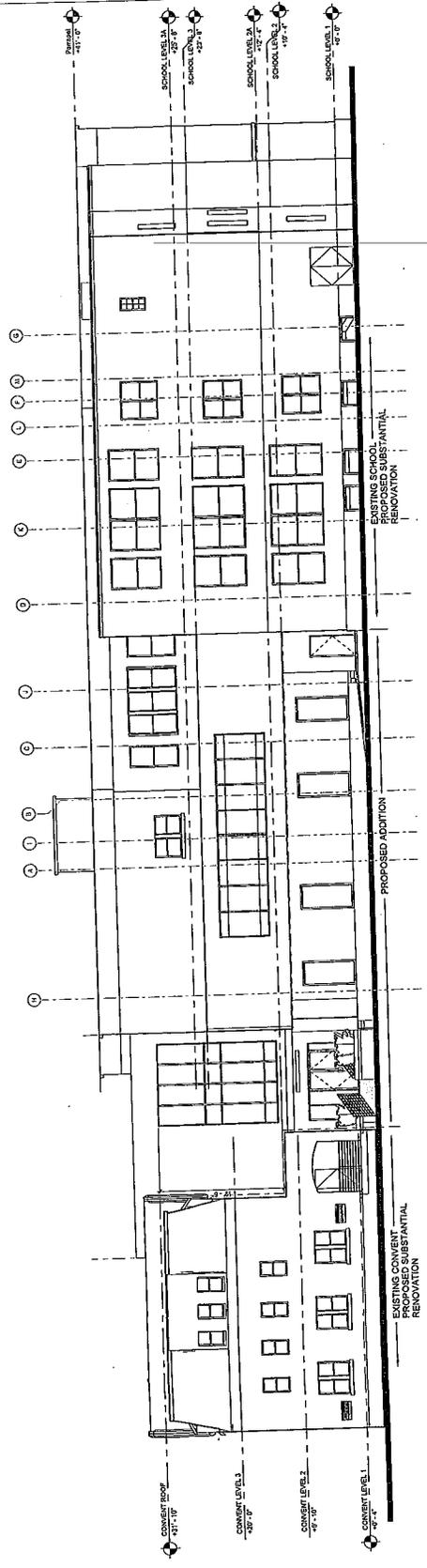
ST. ANTHONY APARTMENTS
 SWBR Project Number: 1820019
 HOME LEASING
 1000 LAKESIDE BLVD.
 WESTBURY, NY 11591

A-201
 Exterior Elevations

JULY 12, 2018
 PROJECT SET
 NOT FOR CONSTRUCTION



2 North Elevation
 1/8" = 1'-0"



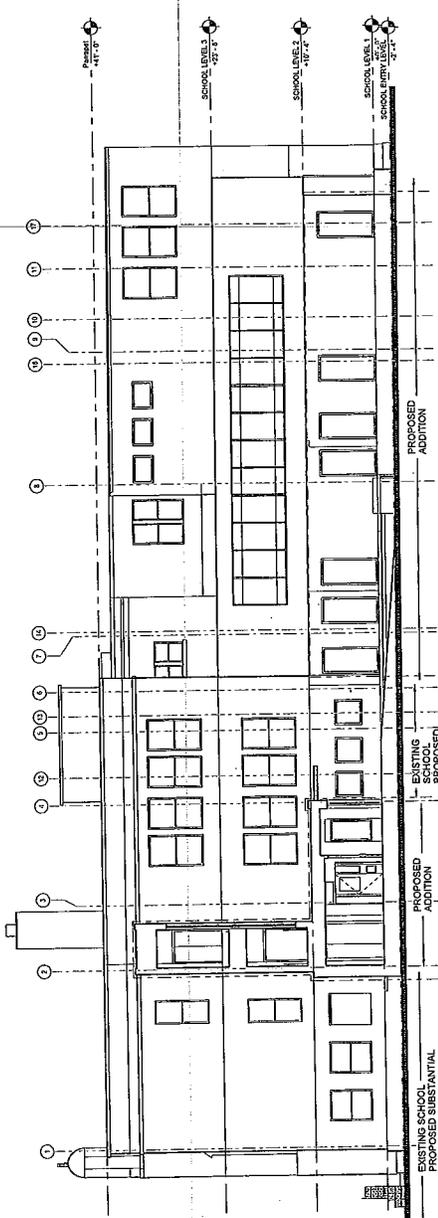
1 South Elevation
 1/8" = 1'-0"

Drawn By:	VS
Checked By:	BR
Project Name:	St. Anthony's
Project Location:	1465
Project Description:	St. Anthony's School, 1465
Project Date:	07/19/2018
Project Status:	Final
Project Owner:	St. Anthony's School
Project Architect:	St. Anthony's School
Project Engineer:	St. Anthony's School
Project Designer:	St. Anthony's School
Project Contractor:	St. Anthony's School
Project Subcontractor:	St. Anthony's School
Project Consultant:	St. Anthony's School
Project Reviewer:	St. Anthony's School
Project Approver:	St. Anthony's School
Project Sign-off:	St. Anthony's School

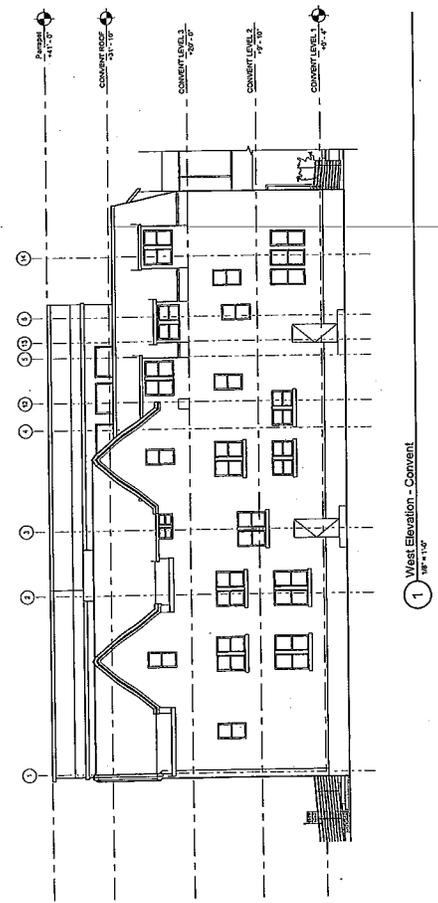
ST. ANTHONY APARTMENTS
 OVER Project Number 1833000
 HOME LEASING
 1465
 ROCHESTER, NY 14624

A-202
 Exterior Elevations

JULY 19, 2018
 PROGRESS SET
 NOT FOR CONSTRUCTION



2 West Elevation - School
 1/8" = 1'-0"



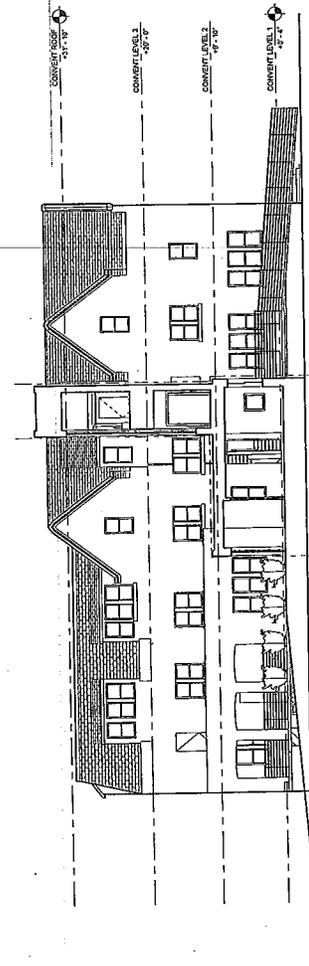
1 West Elevation - Convent
 1/8" = 1'-0"

Drawn By:	VS
Checked By:	RP
Project Manager:	ML
Revised:	

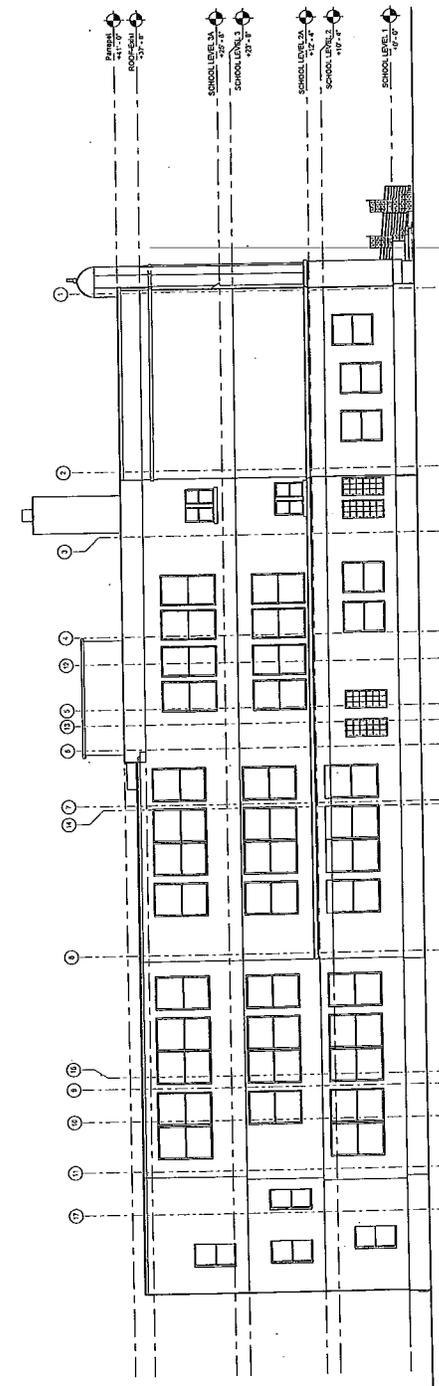
ST. ANTHONY APARTMENTS
 SWBR Project Number: 133260
 HOME LEASING
 1000 South Street, Suite 200
 Rochester, NY 14620

A-203
 Exterior Elevations

JULY 19, 2018
 PROGRESS SET
 NOT FOR CONSTRUCTION



2 East Elevation - Convert
 1/8" = 1'-0"



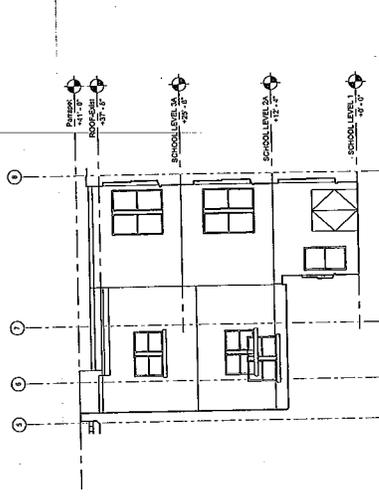
1 East Elevation - School
 1/8" = 1'-0"

Client:	NS
Contract No.:	18P
Project Name:	NS
Architect:	SWBR
Scale:	1/8" = 1'-0"
Notes:	1. This drawing is to be used in conjunction with the approved plans and specifications for this project. 2. All dimensions are to be taken from the finished floor unless otherwise noted. 3. The contractor shall be responsible for obtaining all necessary permits and approvals. 4. The contractor shall be responsible for coordinating with all other trades and utilities. 5. The contractor shall be responsible for maintaining access to all adjacent properties. 6. The contractor shall be responsible for protecting all existing structures and utilities. 7. The contractor shall be responsible for maintaining site safety at all times. 8. The contractor shall be responsible for removing all debris and materials from the site. 9. The contractor shall be responsible for restoring the site to its original condition. 10. The contractor shall be responsible for providing all necessary safety equipment and personnel. 11. The contractor shall be responsible for providing all necessary materials and labor. 12. The contractor shall be responsible for providing all necessary equipment and tools. 13. The contractor shall be responsible for providing all necessary permits and approvals. 14. The contractor shall be responsible for coordinating with all other trades and utilities. 15. The contractor shall be responsible for maintaining access to all adjacent properties. 16. The contractor shall be responsible for protecting all existing structures and utilities. 17. The contractor shall be responsible for maintaining site safety at all times. 18. The contractor shall be responsible for removing all debris and materials from the site. 19. The contractor shall be responsible for restoring the site to its original condition. 20. The contractor shall be responsible for providing all necessary safety equipment and personnel. 21. The contractor shall be responsible for providing all necessary materials and labor. 22. The contractor shall be responsible for providing all necessary equipment and tools.
Revisions:	

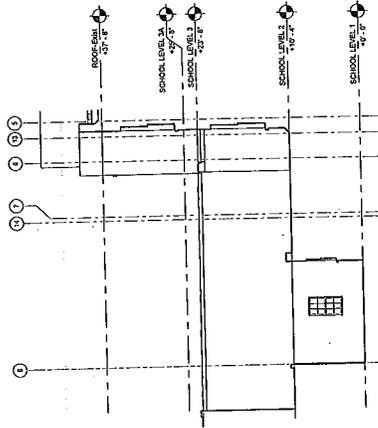
ST ANTHONY APARTMENTS
 SWBR Project Number: E33009
 HOME LEASING
 1000 WEST 10TH STREET, SUITE 200
 ANCHORAGE, ALASKA 99501

A-204
 Courtyard Elevations

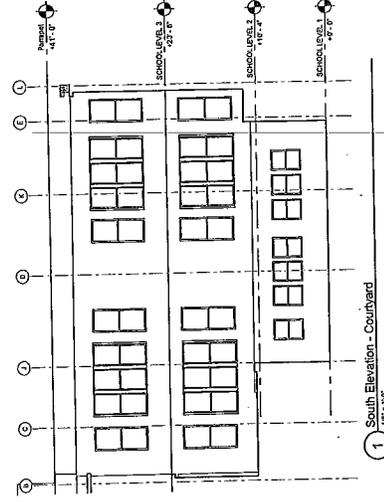
JULY 19, 2018
 PROGRESS SET
 NOT FOR CONSTRUCTION



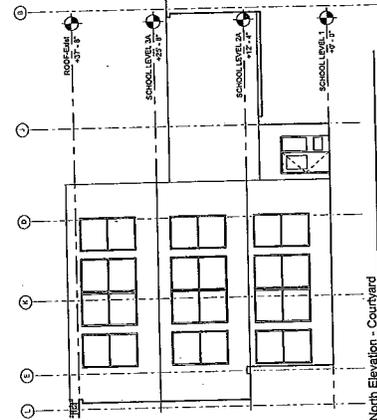
2 West Elevation - Courtyard
 1/8" = 1'-0"



4 East Elevation - Courtyard
 1/8" = 1'-0"



1 South Elevation - Courtyard
 1/8" = 1'-0"



3 North Elevation - Courtyard
 1/8" = 1'-0"



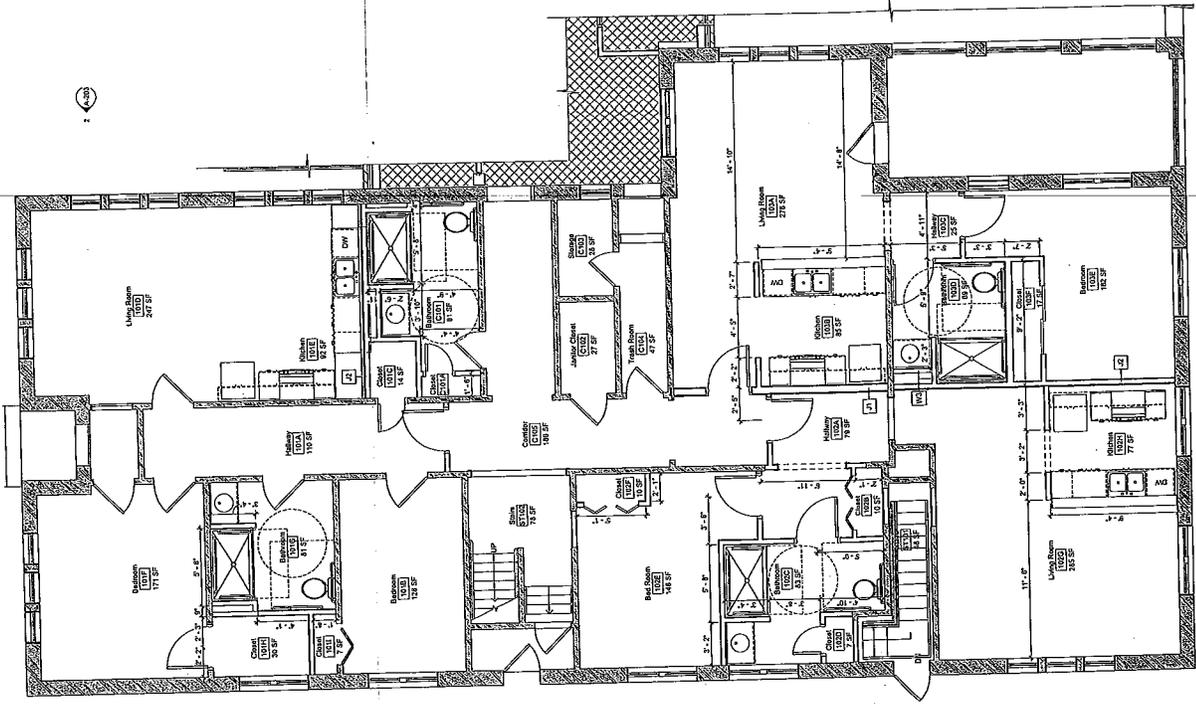
Drawn By: NS
 Checked By: DP
 Project Manager: MK
 Home Leasing
 100 West Franklin Street
 Rochester, NY 14620
 716.243.8800
 www.swbr.com

ST. ANTHONY APARTMENTS
 SWBR Project Number: 1333300

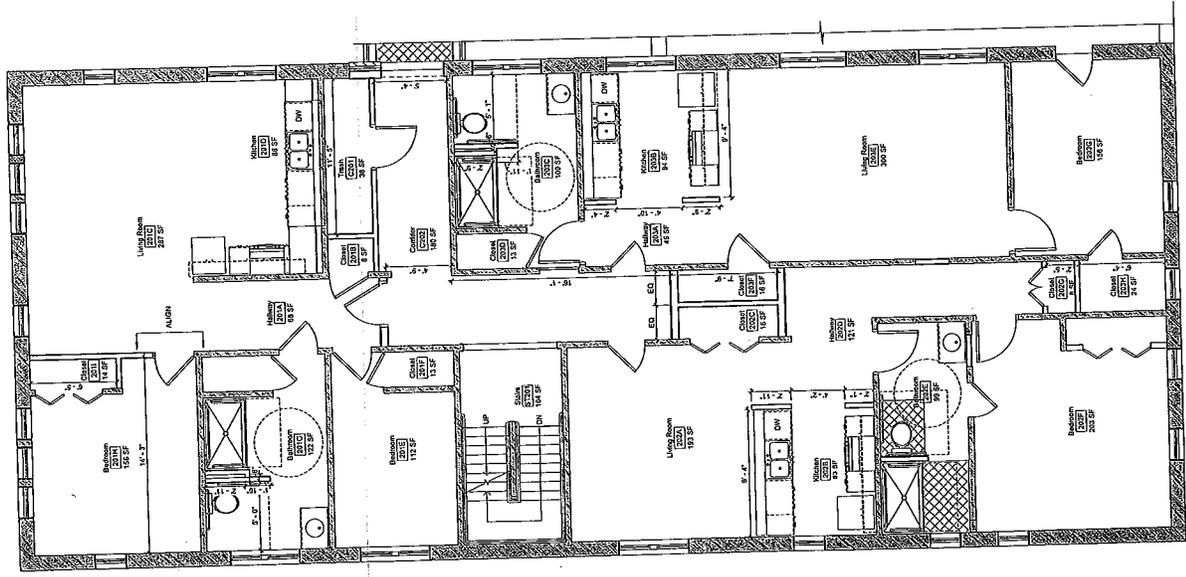
HOME LEASING
 100 West Franklin Street
 Rochester, NY 14620
 716.243.8800
 www.swbr.com

A-421
 Enlarged Plans -
 Convent

JULY 19, 2018
 NOT FOR CONSTRUCTION



1 Enlarged Plan - Convent First Floor
 1/4" = 1'-0"



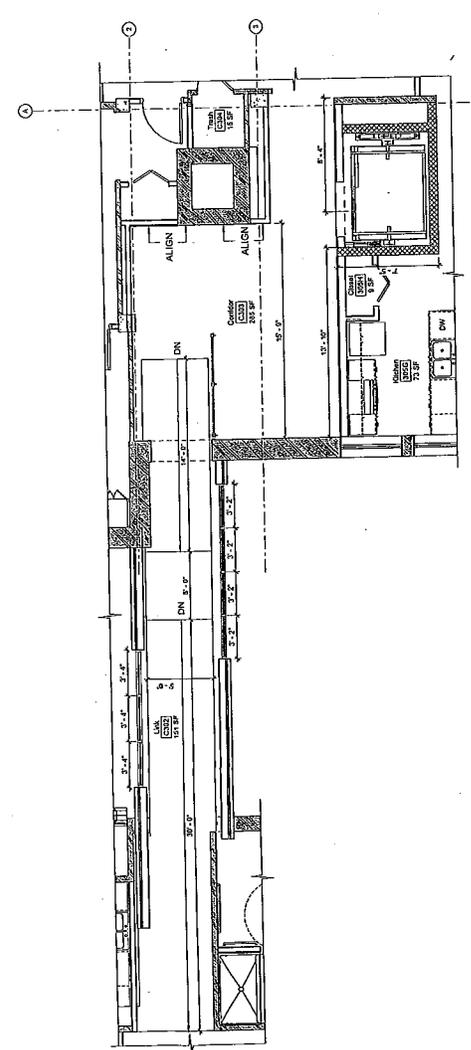
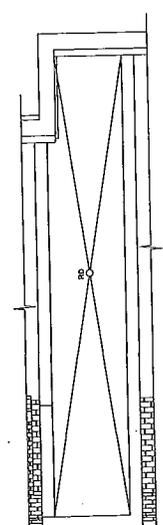
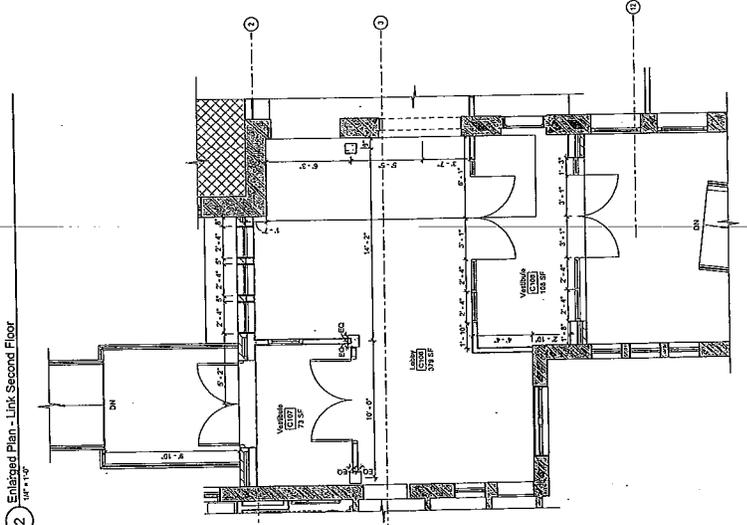
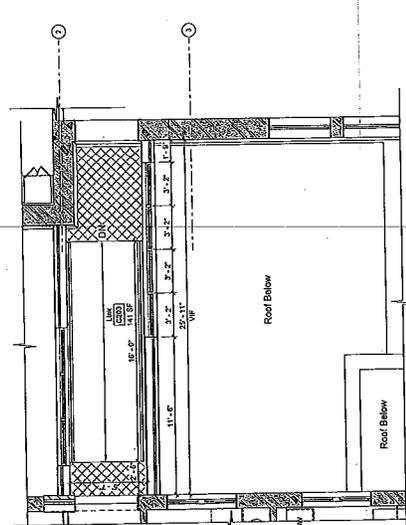
2 Enlarged Plan - Convent Second Floor
 1/4" = 1'-0"



Drawn By:	VS
Checked By:	SP
Project Name:	NYC
Project Number:	1103000
Revision:	

ST. ANTHONY'S APARTMENTS
 SWBR Project Number 1103000
 HOME LEASING
 100 WEST 110th STREET
 NEW YORK, NY 10036
A-423
 Enlarged Plans -
 Link Lobby

July 19, 2018
 PROGRESS SET
 NOT FOR CONSTRUCTION



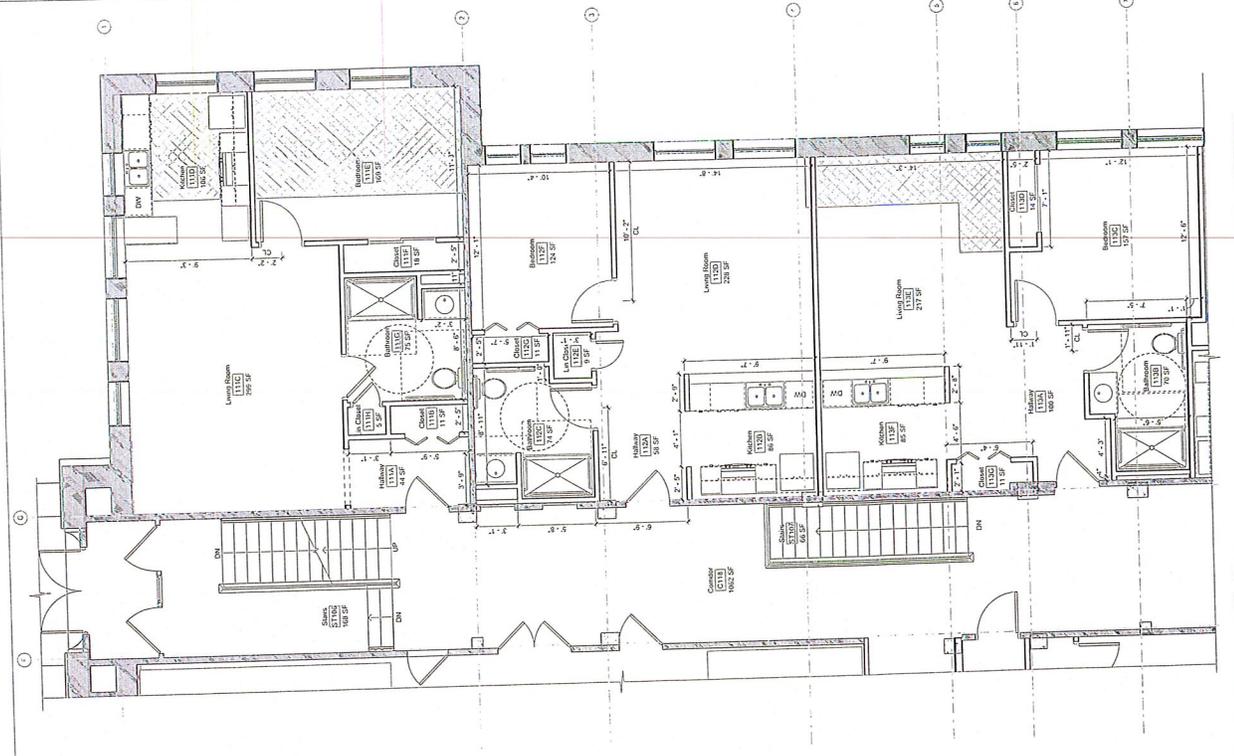


Drawn By:	YS
Checked By:	BP
Project Manager:	ML
Revisions:	

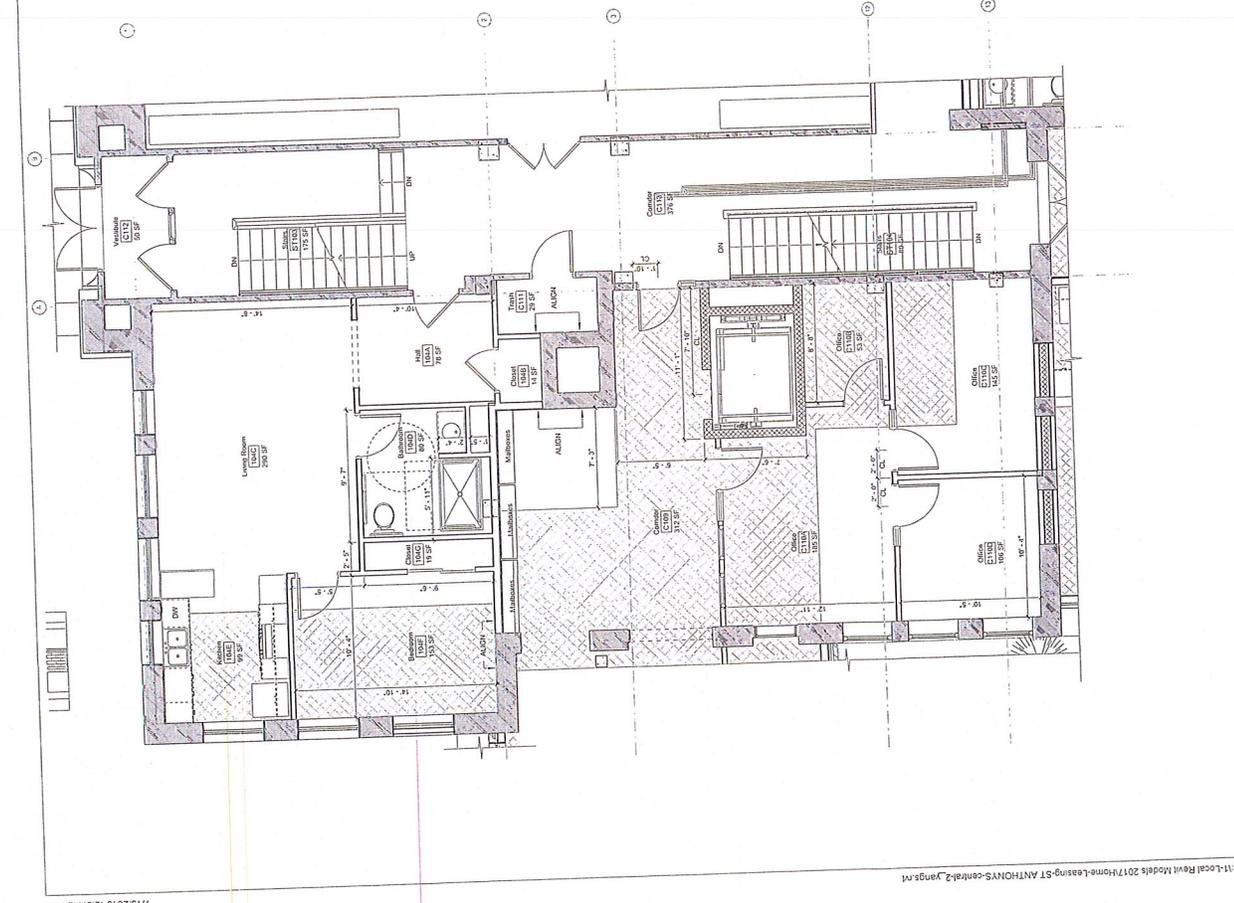
ST. ANTHONY APARTMENTS
 SWBR Project Number: 13350.00
 HOME LEASING/LEASE
 ROCHESTER, NY, 1464

A-425
 Enlarged Plans -
 School First Floor

JULY 12, 2018
 1:57 PM
 NOT FOR CONSTRUCTION



1 Enlarged Plan - School First Floor
 1/4" = 1'-0"



2 Enlarged Plan - School First Floor
 1/4" = 1'-0"

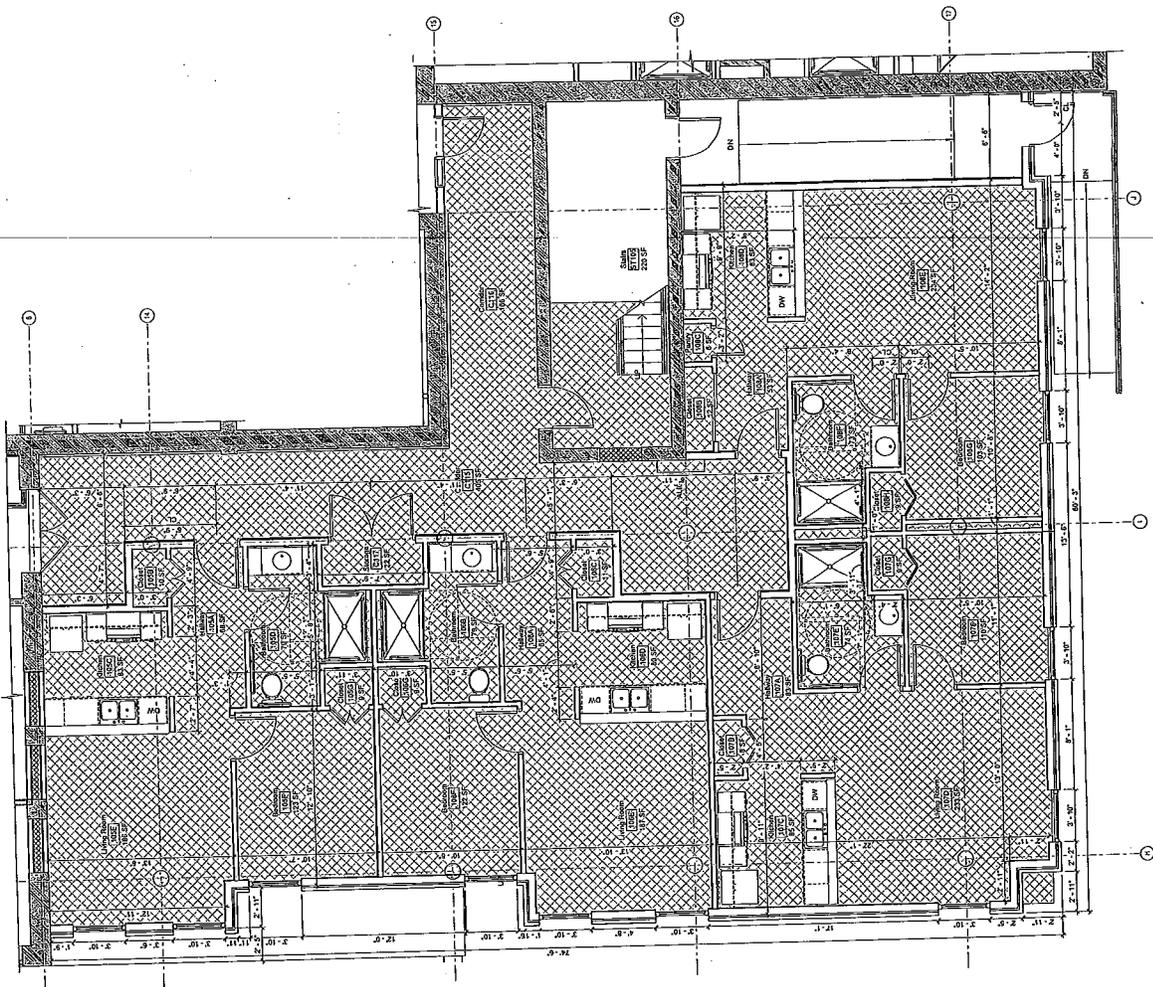


Scale:	1/8" = 1'-0"
Contract No.:	18700-00
Project Name:	St. Anthony Apartments
Project Location:	1870 Broadway, New York, NY 10019
Architect:	SWBR
Engineer:	SWBR
Contractor:	SWBR
Revision:	

ST. ANTHONY APARTMENTS
SWBR Project Number: 18700-00
REVISED
JULY 19, 2018
ROCHESTER, N.Y. 14604

A-426

Enlarged Plans -
School First Floor
JULY 19, 2018
PROGRESS SET
NOT FOR CONSTRUCTION



1 Enlarged Plan - School First Floor
1/8" = 1'-0"



Drawn By:	YS
Checked By:	BP
Project Manager:	UL
Notes:	1. This drawing is a part of a set of drawings. It should be read in conjunction with the other drawings in the set.
Revisions:	1. 07/19/2018: Initial drawing.
Scale:	As Shown

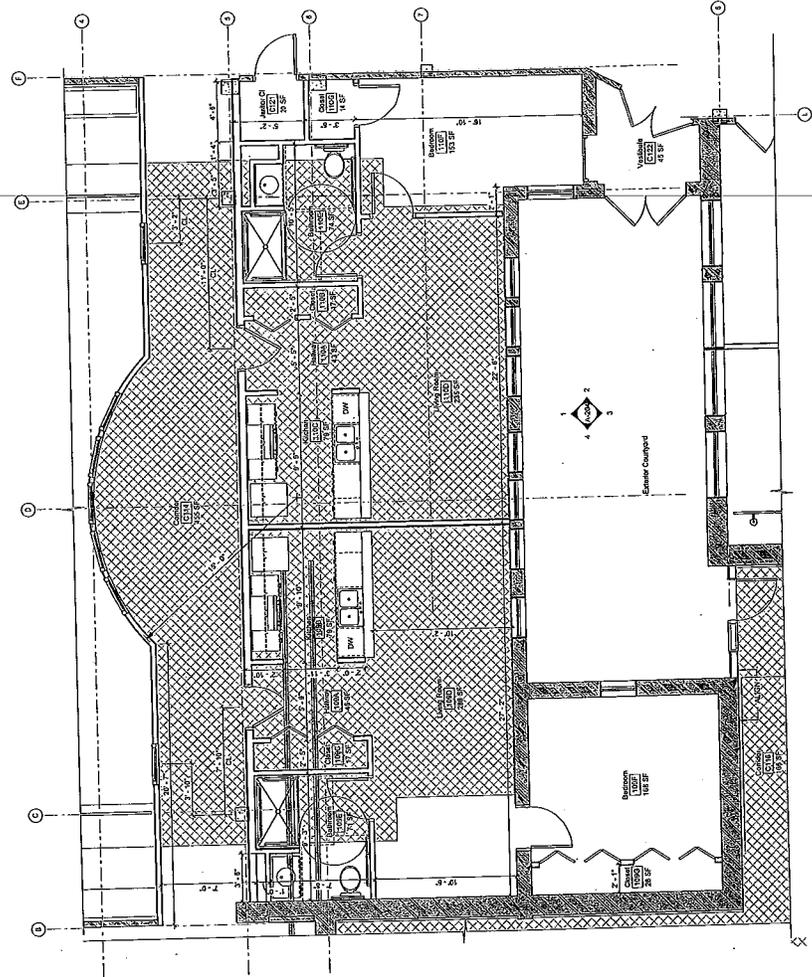
ST. ANTHONY APARTMENTS
SWBR Project Number: 15333.00

NEED LEASING
NEED LEASING
ROCHESTER, NY 14604

A-427

Enlarged Plans -
School First Floor

July 19, 2018
10:53 AM
NOT FOR CONSTRUCTION



1 Enlarged Plan - School First Floor
1/4" = 1'-0"



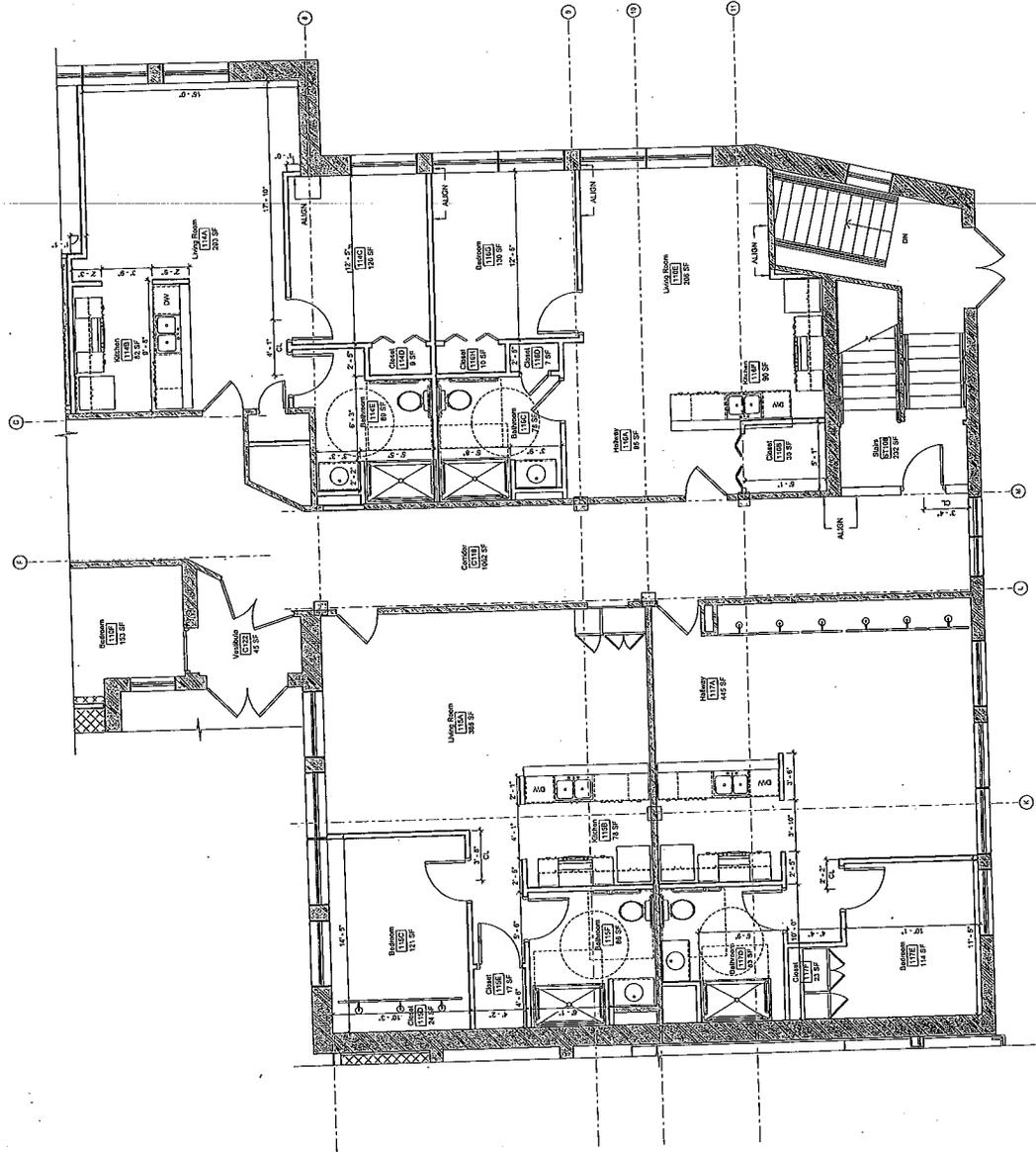
Drawn By:	VS
Checked By:	BP
Project Manager:	ML
Architect:	STANTON APARTMENTS
Contractor:	H&B LADDERS
Engineer:	SWBR
Scale:	AS SHOWN
Notes:	SEE SHEET A-428 FOR COMPLETE FLOOR PLAN. THIS SHEET IS A PART OF A SET OF DRAWINGS FOR THE PROJECT. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UNIFORM CODE BOOKS AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ALL RECORDS OF THE PROJECT.

ST. ANTHONY APARTMENTS
 SWBR Project Number: 1433300
 H&B LADDERS
 1000 W. 14TH STREET
 ROCHESTER, NY, 14604

A-428

Enlarged Plans -
 School First Floor

JULY 19, 2018
 10:00 AM
 NOT FOR CONSTRUCTION



2 Enlarged Plan - School First Floor
 1/8" = 1'-0"



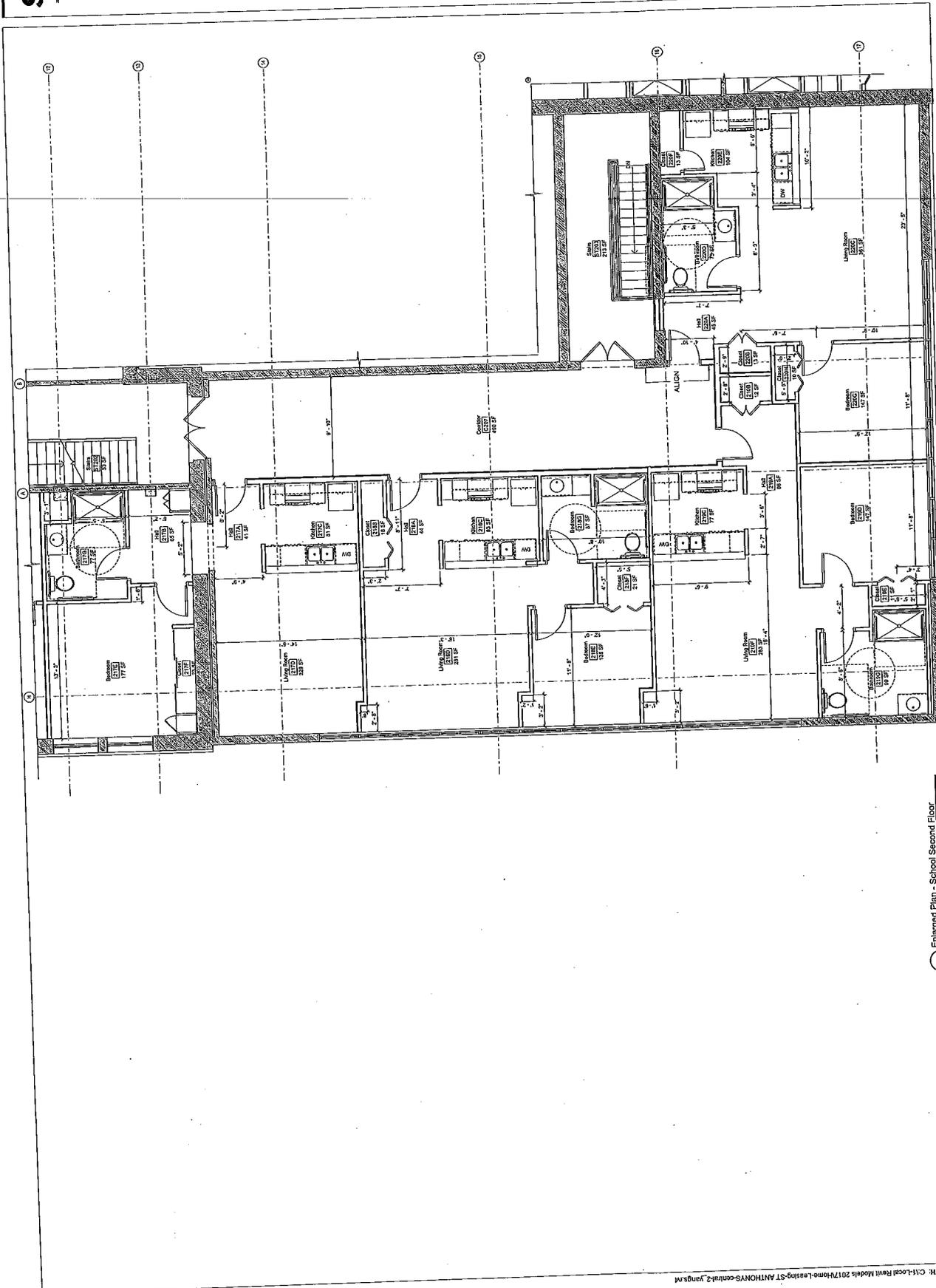
Drawn By:	VS
Checked By:	SP
Project Manager:	ML
Architect:	
Contractor:	
Engineer:	
Interior Designer:	
MEP Engineer:	
Structural Engineer:	
Other:	

ST. ANTHONY APARTMENTS
 SWBR Project Number: 13285.00

HOME LEASING
 1000 Park Avenue, Suite 2000
 New York, NY 10022
 Tel: 212 693 7000
 Fax: 212 693 7001
 www.swbr.com

A-430
 Enlarged Plans -
 School Second Floor

JULY 19, 2018
 FOR PERMITS ONLY
 NOT FOR CONSTRUCTION



1 Enlarged Plan - School Second Floor
 1/4" = 1'-0"

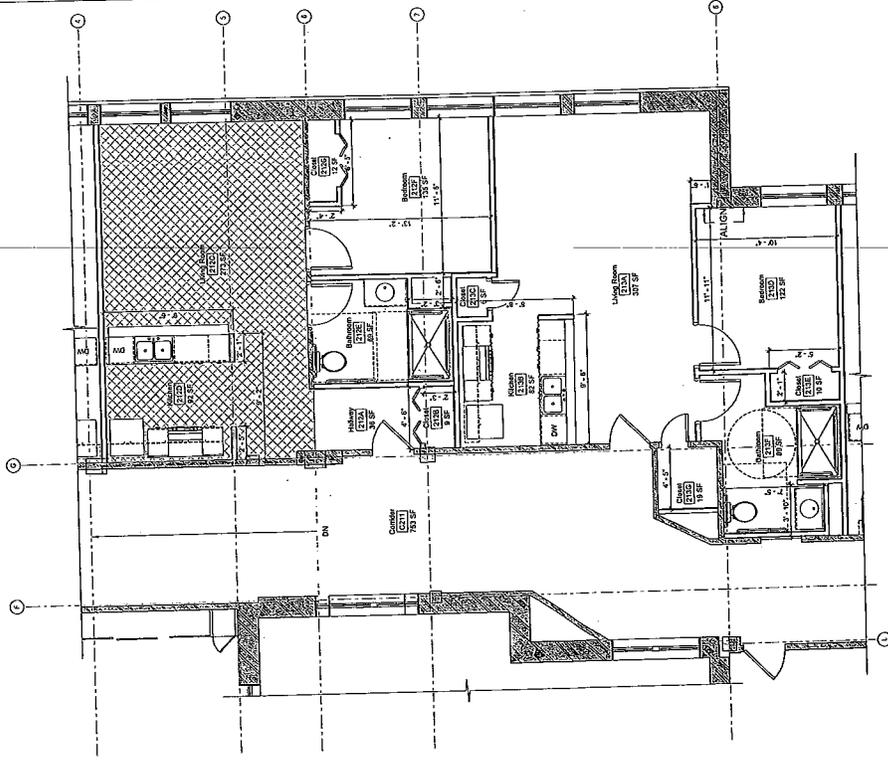


Drawn By:	YS
Checked By:	SP
Project Manager:	ML
Architect:	SWBR Architectural Firm, Inc.
Engineer:	SWBR Engineering, Inc.
Contractor:	SWBR Construction, Inc.
Revisions:	

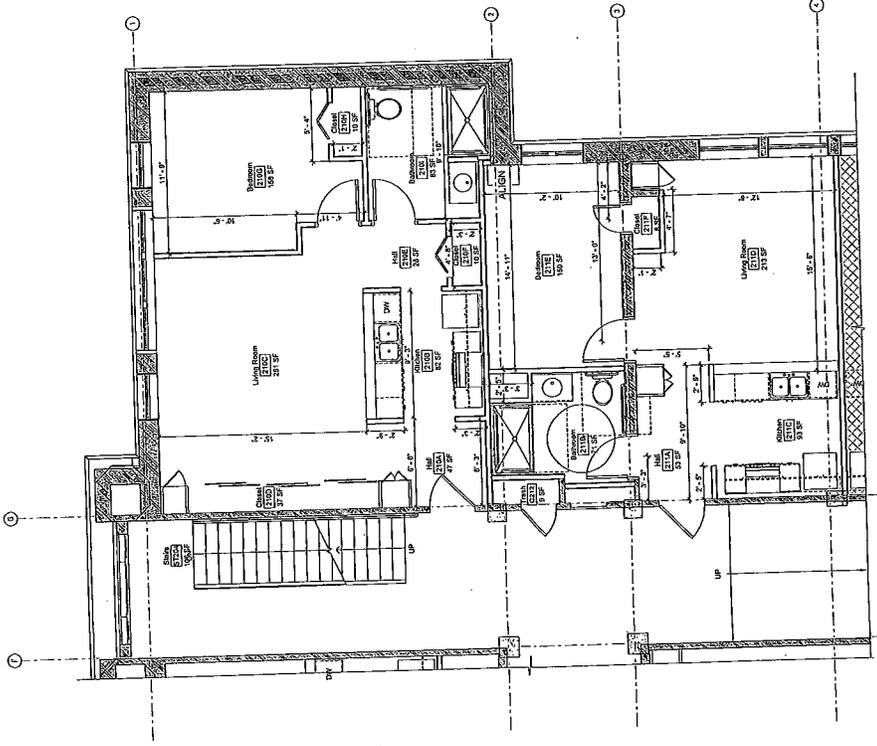
ST. ANTHONY APARTMENTS
 180 CLAYTON SQUARE
 ROCHESTER, NY 14604

A-431

Enlarged Plans -
 School Second Floor
 DATE: 05/13/18
 PROJECT SET
 NOT FOR CONSTRUCTION



2 Enlarged Plan - School Second Floor
 1/8" = 1'-0"



1 Enlarged Plan - School Second Floor
 1/8" = 1'-0"

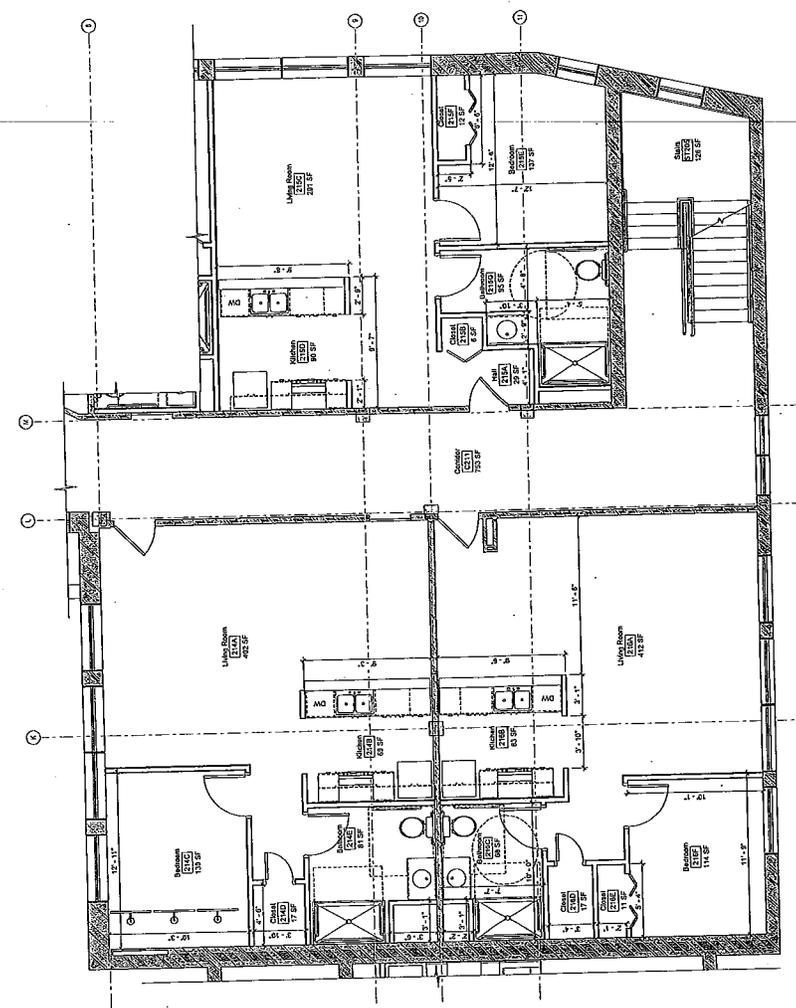


OWNER:	ST. ANTHONY APARTMENTS
PROJECT NO.:	15333.00
PROJECT NAME:	HOME LEASING
PROJECT ADDRESS:	100 WEST MAIN STREET, ROCHESTER, NY 14602
DATE:	JULY 19, 2018
BY:	[Signature]
CHECKED BY:	[Signature]
SCALE:	AS SHOWN
REVISIONS:	
NO. 1	
NO. 2	
NO. 3	
NO. 4	
NO. 5	
NO. 6	
NO. 7	
NO. 8	
NO. 9	
NO. 10	
NO. 11	
NO. 12	
NO. 13	
NO. 14	
NO. 15	
NO. 16	
NO. 17	
NO. 18	
NO. 19	
NO. 20	
NO. 21	
NO. 22	
NO. 23	
NO. 24	
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NO. 100	

ST. ANTHONY APARTMENTS
 15333.00
 HOME LEASING
 100 WEST MAIN STREET, ROCHESTER, NY 14602

A-432

Enlarged Plans -
 School Second Floor
 July 19, 2018
 PROGRESS SET
 NOT FOR CONSTRUCTION



1 Enlarged Plan - School Second Floor
 1/8" = 1'-0"



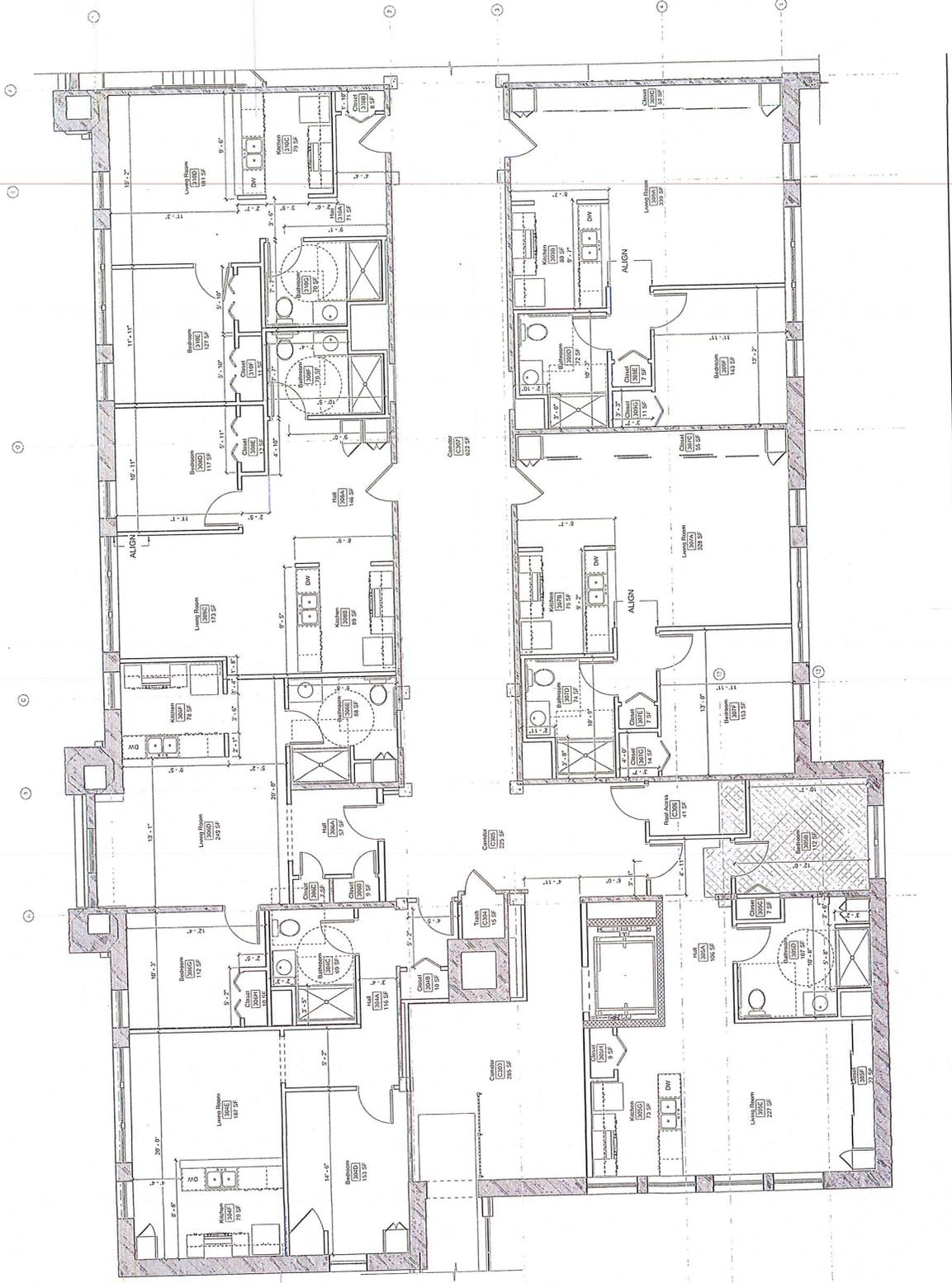
Drawn By:	VC
Checked By:	RP
Project Manager:	NL
<small>These drawings and specifications are prepared by SWBR, Inc. and are the property of SWBR, Inc. They are to be used only for the project and location specified. No part of these drawings or specifications shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of SWBR, Inc.</small>	
Revisions:	

ST. ANTHONY'S PARISHMENTS
 SWBR Project Number: 13.20.00

HOME LEASING
 1000 N. 10th Street, Suite 200
 ROCHESTER, NY 14609

A-433

Enlarged Plans -
 School Third Floor
 JULY 12, 2018
 PROGRESS SET
 NOT FOR CONSTRUCTION



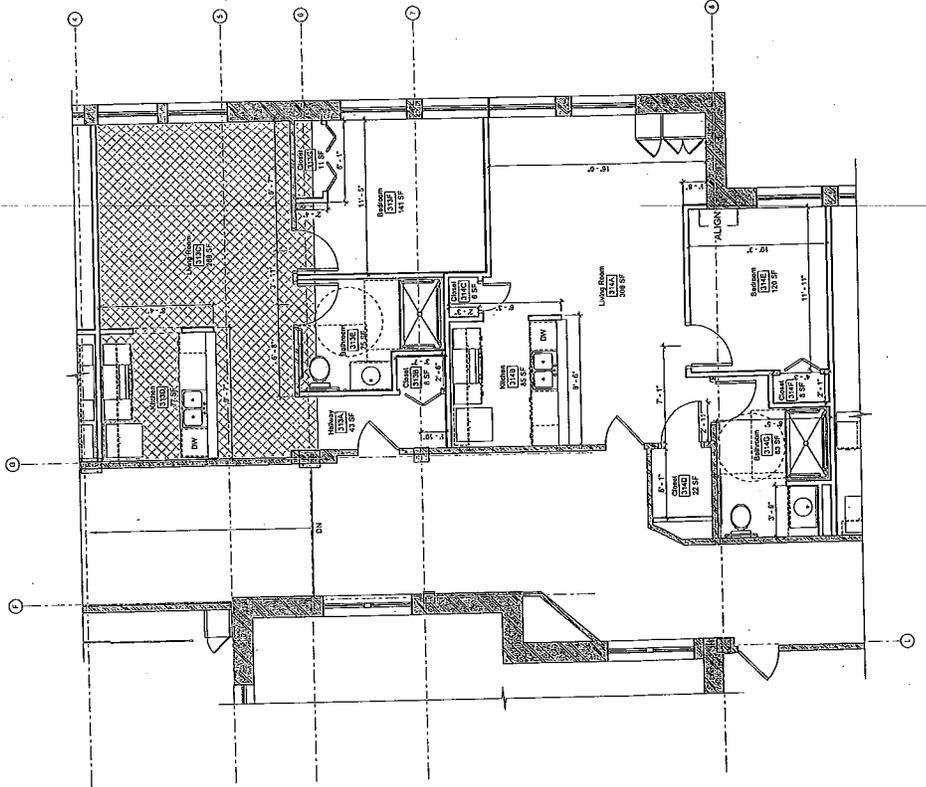
1 Enlarged Plan - School Third Floor
 1/4" = 1'-0"



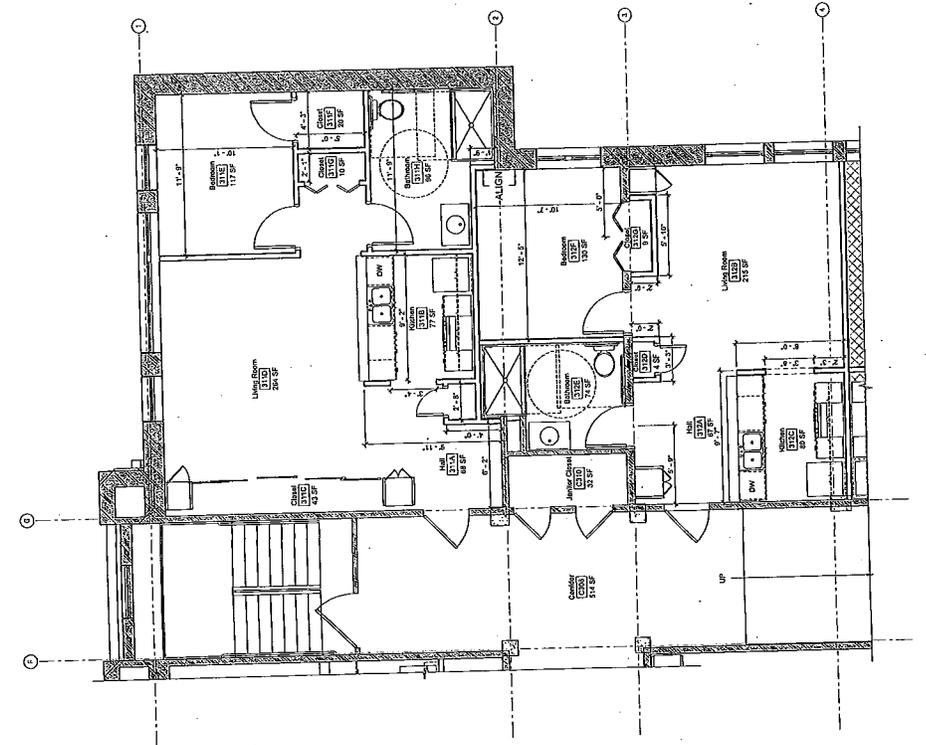
Drawn By:	VS
Checked By:	DF
Project Manager:	ML
Architect:	
Engineer:	
Interior Designer:	
MEP Engineer:	
Structural Engineer:	
Other:	
Revisions:	

ST. ANTHONY APARTMENTS
 SWBR Project Number: 133000
 HOME LEASING
 1000 S. WOODSTOCK BLVD.
 ROCHESTER, N.Y. 14624

A-434
 Enlarged Plans -
 School Third Floor
 JULY 18, 2018
 NOT FOR CONSTRUCTION



1 Enlarged Plan - School Third Floor
 1/4" = 1'-0"



2 Enlarged Plan - School Third Floor
 1/4" = 1'-0"



01.26.2017 13:16



01.26.2017 13:16



NO STOPPING HERE CORNER

01.26.2017 13:17



01.26.2017 13:18



01.26.2017 13:18



01.26.2017 13:18



01.26.2017 13:21



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" SCHEDULE C "

**RJ Lighton Sr.
Land Surveying**

886 East Brighton Avenue

Syracuse, NY 13205

Tel: (315) 492-2493

Fax: (315) 469-7079

*No. 411 West Colvin Street -
No. 1501 - 1515 Midland Avenue*

*** Easement ***

Beginning at a point in the present northerly line of Fage Avenue, said point of beginning being S. 74°-03'00" E., a distance of 191.66 Feet as measured along said present northerly line of Fage Avenue from its intersection with the present easterly line of Midland Avenue;

Thence N. 15°-57'-00" W., parallel with said present easterly line of said Midland Avenue a distance 131.90 feet to a point;

Thence N. 18°-13'-54" W., parallel with the westerly face of a three story masonry building known as No. 411 West Colvin Street (Saint Anthony's School) a distance of 53.30 feet to point;

Thence S. 71°-43'-04" W., parallel with the southerly face of a two and one half story masonry building known as No. 411 West Colvin Street, a distance of 49.62 feet its intersection with the southerly prolongation of the westerly face of said two and one half story masonry building to a point therein;

Thence N. 18°-13'-54" W., along said southerly prolongation of said westerly face of said two and one half story masonry building a distance of 12.00 feet to the southwesterly corner of said two and one half story masonry building;

Thence N. 71°-43'-04" E., along the southerly face of said two and one half story masonry building a distance of 61.58 feet to its intersection with the westerly face of a three story masonry building known as No. 411 West Colvin Street (Saint Anthony's School) to a point therein;

Thence S. 18°-13'-54" E., along said westerly face three story masonry building a distance of 65.30 feet to a point therein;

Thence S. 15°-57'-00" E., parallel with said present easterly line Midland avenue a

RJ Lighton, Sr.
New York State Licensed
Land Surveyor

distance of 132.39 feet to intersection with said present northerly line of said Fage Avenue to a point therein;

Thence S. 74° 03'00" W. along said present northerly line of said Fage Avenue a distance of 12.00 feet to the point of beginning.

The hereinbefore - described parcel of land contains 0.07 acres of land.



"SCHEDULE B"

RJ Lighton Sr.
Land Surveying
886 East Brighton Avenue

Syracuse, NY 13205

Tel: (315) 492-2493

Fax: (315) 469-7079

*No. 401 West Colvin Street -
No. 1501-1515 Midland Avenue*

** Easement **

Beginning at a point in the present southerly line of West Colvin Street, said point being the northwesterly corner of New Lot 1B, known as No. 411 West Colvin Street;

Thence N. 71° - 39' - 45" E., along said present southerly line of West Colvin Street, a distance of 25.24 feet to a point therein;

Thence S. 18° - 07' - 36" E., a distance of 33.79 feet to its intersection with the northerly face of a two and one half story masonry building (Convent) to a point therein;

Thence S. 71° - 52' - 24" W., along said northerly face of said masonry building and its westerly prolongation thereof, a distance of 25.18 feet to its intersection with the westerly line of said New Lot 1B to a point therein;

Thence N. 18° - 13' - 54" W. along said westerly line of said New Lot 1B a distance of 33.70 feet to the point of beginning.

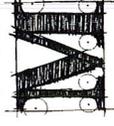
The hereinbefore - described parcel of land contains 0.02 acres of land.

RJ Lighton, Sr.
New York State Licensed
Land Surveyor

Heritage Gardens



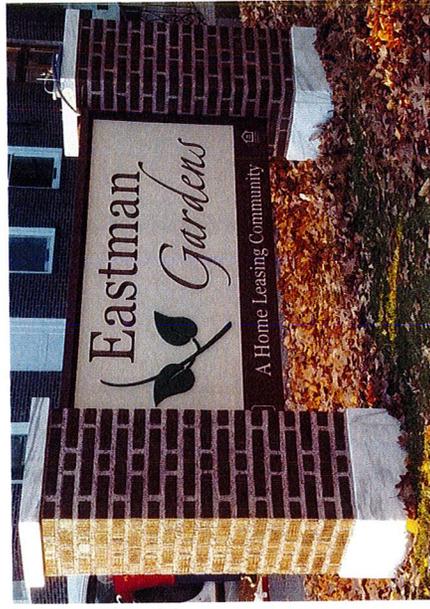
A Home Leasing Community



1996-2016

McAllister Sign

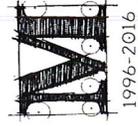
Fabrication Details



McAllister Sign

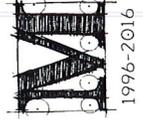
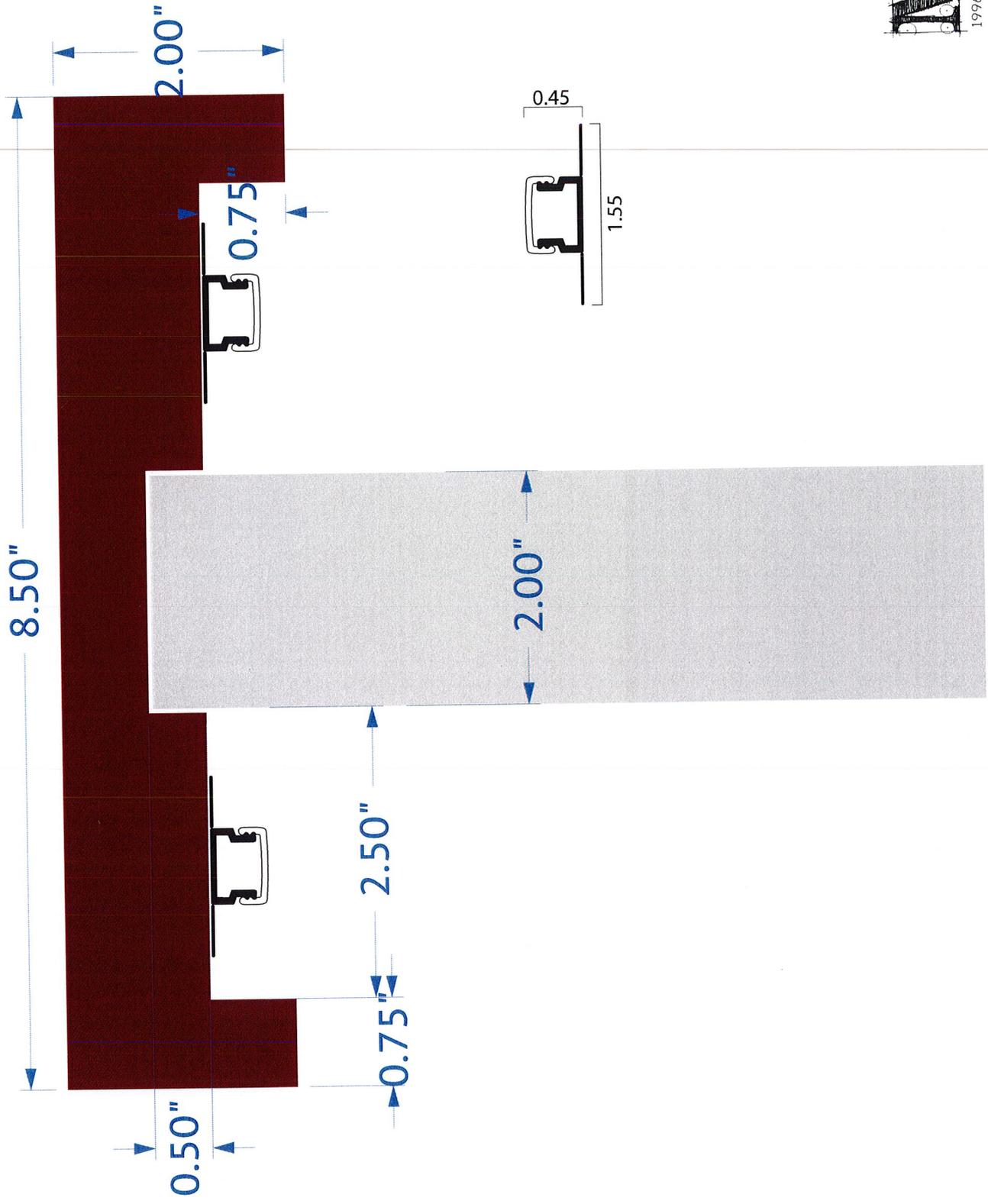
Mounting Detail

Side View



McAllister Sign

Side Profile | LED Housing/Cap



LED Detail, Supplied and Installed By Others

VERSA

UTILITY LED LINE

Application

The Versa line was developed for the food and beverage industry and is suitable for use in freezers, coolers and sign lighting for grocery stores, mini-marts and gas stations. Fixtures provide an economical, moisture-resistant, bright light source to illuminate product for store patrons and personnel.

Configuration

Fixtures are constructed in a clear polypropylene winged extrusion or an option of black housing with side-shield for light shielding in exposed areas. The configuration of side-shield fixtures requires specification of wire lead placement (right end, left end or both ends.) Versa lights contain a linear LED light engine with an IP65 moisture rating.

Mounting

Fixtures can be installed in "daisy-chain" continuous run or "home-run" multiple branch configuration, making custom layout design a breeze. Our easy-mount system employs low-tack double-sided tape on fixture backs for temporary placement while the provided self-tapping screws are secured. Optional clips may be utilized where the application requires.

Electrical/Connectors

Versa fixtures are 24V DC regulated, designed with 24 inch wire leads for the cleanest, easiest installation on the market.

LEDs

Fixtures are designed with TLD's select light engine, engineered for efficient thermal management and maximum longevity. Exclusive use of quality LEDs ensures consistent chromaticity for brilliance and long life.

Light Output

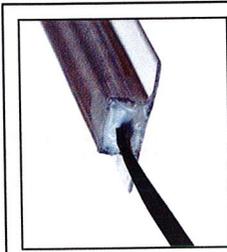
Versa fixtures are offered in two light tones, 3000K warm white or 4000K neutral light, to achieve the desired look.

Power Supplies and Accessories

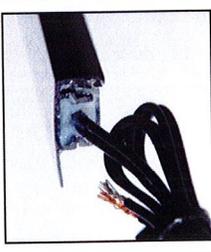
We offer a variety of compatible 24V DC power supplies and accessories.

Warranty

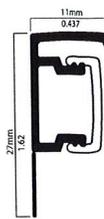
Fixtures are rated for 50,000 hours at 70% of lamp lumen output and backed by a 6-Year Limited Warranty by TLD, an innovative leader in LED technology.



VRS
Standard



VRS
Side Shield



LIGHT OUTPUT		VRS
Source Lumens Per Foot - 3000K		320
Source Lumens Per Foot - 4000K		350

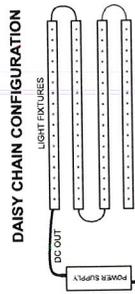
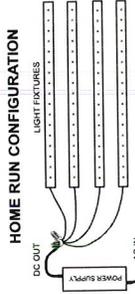
Model No.	Fixture Length (inches)	Wattage
065	6.5	1.88
125	12.5	4.2
180	18	6.7
240	24	9.2
300	30	11.8
360	36	14.3
420	42	16.8
480	48	19.3
540	54	22
600	60	24.4
660	66	27
720	72	29.5
780	78	32
830	83	34.5
890	89	37
950	95	39.5

The side wings are meant for permanent mounting using the supplied self-tapping screws. Each fixture comes with factory installed double sided tape for temporary mounting. Side tabs can be removed to fit tight spaces or recesses.

One wing removed
Both wings removed

Versa Fixture	Model No.	Light Color	Enclosure Style	Wire Lead
VRS	065	30	(Black) Standard	RE Right End
	125	3000K Warm White	S Side Shield	BE Both ends
	180	4000K Neutral White	LE Left End	
	240			
	300			
	360			
	420			
	480			
	540			
	600			
	660			
	720			
	780			
	830			
	890			
	950			

WIRING OPTIONS

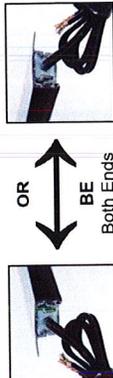


Enclosure Option

Standard (Clear)
Offers the widest light pattern for maximum coverage.

Side Shield (Black)
Shield reduces only one side of the light pattern.

Side Shield (Black)
Shield only reduces one side of the light pattern.
* Please specify placement of 24" wire lead(s).



Optional Mounting Clip

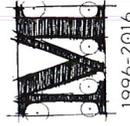
Nickel-plated Spring Clip
SCLP



100 Boxart Street • Suite 230
Rochester, NY 14612
585-697-0093
Fax: 585-663-1432
theLightingDivision.com



100 Boxart Street • Suite 2:
Rochester, NY 14612
585-697-0093
Fax: 585-663-1432
theLightingDivision.com



McAllister Sign

TLD-112-3-16

THIS IS A LEGAL INSTRUMENT AND SHOULD BE EXECUTED UNDER SUPERVISION OF AN ATTORNEY.

THIS INDENTURE, made the 25th day of March, 2002

BETWEEN St. Anthony of Padua Church, 1515 Midland Avenue, Syracuse, New York 13205

grantor

and

City of Syracuse, a municipal corporation in the County of Onondaga and State of New York

grantee

WITNESSETH, that the grantor, in consideration of One Dollar and no/100 Cents (\$1.00) Dollars, paid by the grantee

hereby grants and releases unto the grantee, the heirs or successor and assigns of the grantee forever,

ALL that tract or parcel of land situate in the City of Syracuse, County of Onondaga and State of New York, being parts of Lots Two, Nine and Ten of "Block A" of the Fage Tract, according to a map thereof filed in the Onondaga County Clerk's Office as number seven thirty seven and also Lot 92, former Town of Onondaga in said City now known as "New Lot 1B" according to a map prepared by R. J. Lighton Sr. NYSLS 45373 and filed in the Onondaga County Clerk's office on February 26, 2002 as Number 9357 and being more particularly described in " Schedule A " attached hereunto. This conveyance is made in accordance with an Order approving this transfer signed by Hon. John Centra of the New York Supreme Court that was filed in the Onondaga County Clerk's Office on March 6, 2002 at Index # 2002-1661

Grantor reserves unto grantor, grantor's sucesors, heirs or assigns as an appurtenance to the land above-described an easement right of way and a right for its agents and employees with necessary equipment to enter upon and have access for the express purpose of repair and construction work as needed to that portion of "New Lot 1B" transferred to the grantee herein as is described in attached "Schedule B"

Further Grantor grants to the grantee the right to use as a means of entering and departing from grantee's property a private right of way over Grantor's property known as " New Lot 1A" according to a map prepared by R.J. Lighton NYSLS 45373 and filed in the Onondaga County Clerk's office on February 26, 2002 as Number 9357 and being a strip twelve feet wide being more particularly described in "Schedule C" attached hereunto. This grant is an easement

"SCHEDULE A "

** Saint Anthony's of Padua Convent and School Parcel *
Containing 38398.799 Square Feet more or less*

All that tract or parcel of land situate in the City of Syracuse, County of Onondaga and State of New York, being a part of Lots Two, Nine and Ten, Block "A" of the Fage Tract, according to a map thereof filed in the Onondaga County Clerk's Office as number seven thirty seven and also part of Lot number ninety two, former Town of Onondaga in said City and being more particularly described as follows:

Beginning at a point in the present southerly line of West Colvin Street, Said point being N. 71°-39'-40" E., a distance of 122.89 feet from the intersection of said southerly line of West Colvin Street with the present easterly line of Midland Avenue, as measured along said southerly line of West Colvin Street;

thence N.71°-39'-40" E., along said southerly line of West Colvin Street, a distance 243.86 feet to a point;

thence S. 05°-18'-59" E., a distance of 194.63 feet to a point;

thence S. 74°-03'-00" W. a distance of 78.52 feet to a chain link fence corner;

thence S. 15°-57'-00" E., along an existing chain link fence, a distance of 54.92 feet to a corner therein;

thence S. 74°-36'-28" W., along an existing chain link fence, a distance of 40.00 feet to a corner therein;

thence N. 16°-06'-02" W., along an existing chain link fence, a distance of 54.92 feet to a corner therein;

thence S. 74°-03'-00" W., a distance of 8.24 feet to point in the southerly prolongation of the westerly face of an existing masonry building (Saint Anthony's School Building);

thence N. 18°-13'-54" W., along said southerly prolongation of said westerly building face of said building, a distance of 65.30 feet to its intersection with the easterly prolongation of the southerly face of an existing masonry building (Saint Anthony's Convent Building);

thence S. 71°-43'-04" W., along said easterly prolongation of said southerly building face and the southerly face of said building, a distance of 61.58 feet to the southwesterly corner thereof;

thence N. 18°-13'54" W., along the westerly face of said building, a distance of 29.00 feet to a point;

thence S. 71°-43'-04" W., a distance of 12.00 feet to a point;

thence N. 18°-13'-54" W., along a line parallel to said westerly building face and 12.00 feet westerly therefrom, a distance of 89.58 feet to the point of beginning.

The hereinbefore described parcel of land contains 38398.799 square feet of land more or less and is together with and subject to any and all easements and restrictions of record.

"SCHEDULE A "

** Saint Anthony's of Padua Convent and School Parcel **
Containing 38398.799 Square Feet more or less

All that tract or parcel of land situate in the City of Syracuse, County of Onondaga and State of New York, being a part of Lots Two, Nine and Ten, Block " A " of the Fage Tract, according to a map thereof filed in the Onondaga County Clerk's Office as number seven thirty seven and also part of Lot number ninety two, former Town of Onondaga in said City and being more particularly described as follows:

Beginning at a point in the present southerly line of West Colvin Street, Said point being N. 71°-39'-40" E., a distance of 122.89 feet from the intersection of said southerly line of West Colvin Street with the present easterly line of Midland Avenue, as measured along said southerly line of West Colvin Street;

thence N.71°-39'-40" E., along said southerly line of West Colvin Street, a distance 243.86 feet to a point;

thence S. 05°-18'-59" E., a distance of 194.63 feet to a point;

thence S. 74°-03'-00" W. a distance of 78.52 feet to a chain link fence corner;

thence S. 15°-57'-00" E., along an existing chain link fence, a distance of 54.92 feet to a corner therein;

thence S. 74°-36'-28" W., along an existing chain link fence, a distance of 40.00 feet to a corner therein;

thence N. 16°-06'-02" W., along an existing chain link fence, a distance of 54.92 feet to a corner therein;

thence S. 74°-03'-00" W., a distance of 8.24 feet to point in the southerly prolongation of the westerly face of an existing masonry building (Saint Anthony's School Building);

thence N. 18°-13'-54" W., along said southerly prolongation of said westerly building face of said building, a distance of 65.30 feet to its intersection with the easterly prolongation of the southerly face of an existing masonry building (Saint Anthony's Convent Building);

thence S. 71°-43'-04" W., along said easterly prolongation of said southerly building face and the southerly face of said building, a distance of 61.58 feet to the southwesterly corner thereof;

thence N. 18°-13'54" W., along the westerly face of said building, a distance of 29.00 feet to a point;

thence S. 71°-43'-04" W., a distance of 12.00 feet to a point;

thence N. 18°-13'-54" W., along a line parallel to said westerly building face and 12.00 feet westerly therefrom, a distance of 89.58 feet to the point of beginning.

The hereinbefore described parcel of land contains 38398.799 square feet of land more or less and is together with and subject to any and all easements and restrictions of record.

4157 West Calvin Street



© 2012 Google
© 2012 Google

43°01'27.30" N 76°08'59.25" W elev 425 ft

Calvin Street

GO